



Agenda for a meeting of the Pokeno Community Committee to be held in the Pokeno Community Hall, Cnr Great South Road and Market Street, Pokeno on **TUESDAY 11 SEPTEMBER 2018** commencing at **7.00PM**.

Information and recommendations are included in the reports to assist the committee in the decision making process and may not constitute Council's decision or policy until considered by the committee.

1. APOLOGIES AND LEAVE OF ABSENCE

2. CONFIRMATION OF STATUS OF AGENDA

3. DISCLOSURES OF INTEREST

4. CONFIRMATION OF MINUTES

Meeting held on Tuesday 14 August 2018 2

5. REPORTS

- | | | |
|------|---|--------|
| 5.1. | Civil Defence Update | Verbal |
| 5.2 | Pokeno Works & Issues Report – Status of Items September 2018 | 6 |
| 5.3 | Pokeno Community Committee Schedule | 24 |
| 5.4 | Market Square Options | 26 |
| 5.5 | Update on Christmas Parade (<i>Alan Johnstone</i>) | Verbal |
| 5.6 | Street Naming | Verbal |
| 5.7 | Chairperson's Report | 27 |
| 5.8 | Councillor's Report | Verbal |
| 5.9 | Committee Reports | Verbal |
| 5.10 | General Business | |

GJ Ion
CHIEF EXECUTIVE

Open Meeting

To	Pokeno Community Committee
From	Gavin Ion Chief Executive
Date	17 August 2018
Prepared by	Lynette Wainwright Committee Secretary
Chief Executive Approved	Y
Reference #	GOV0516
Report Title	Confirmation of Minutes

1. EXECUTIVE SUMMARY

To confirm the minutes of the Pokeno Community Committee meeting held on Tuesday 14 August 2018.

2. RECOMMENDATION

THAT the minutes of the meeting of the Pokeno Community Committee held on Tuesday 14 August 2018 be confirmed as a true and correct record of that meeting.

3. ATTACHMENTS

PCC Minutes 14 August 2018



POKENO COMMUNITY COMMITTEE

MINUTES of the monthly Pokeno Community Committee meeting held in the Pokeno Hall, Pokeno, on 14th August 2018, commencing at 7.00pm.

Committee Members Present: Helen Clotworthy, Ric Odom, Morris Roberts, Kris Hines, Todd Miller, Charles Hackett, Wayne Rodgers, Janet McRobbie, Lance Straker

WDC Staff in Attendance: Tony Whittaker, Kevin Stokes

Councillors in Attendance: Cr J Church, Mayor A Sanson

Community Members: Community members attended

1. APOLOGIES: Apologies were received from Doug Rowe.
Moved that apologies be accepted.

Moved: Helen Clotworthy

Seconded: Kris Hines

2. CONFIRMATION OF THE STATUS OF THE AGENDA

Moved that the agenda be confirmed.

Moved: Helen Clotworthy

Seconded: Todd Miller

3. DISCLOSURE OF INTEREST

There was no disclosure of interest

4. CONFIRMATION OF THE MINUTES

That the minutes of the meeting held on 10th July 2018 be confirmed.

Moved: Helen Clotworthy

Seconded: Ric Odom

5. REPORTS

5.1. Progressive Enterprises. Peter Buchan from Progressive and representative from Greenstone. Peter spoke to Progressive's plans for a supermarket in Pokeno. A lot of work has been based on feedback received at meeting in December 2017. In particular, the desire to build a larger supermarket than a Fresh Choice. Much of Progressive's discussion has been based on current

and predicted future growth of Pokeno and their recommendation is that while the population does not meet the criteria for a larger supermarket, a Countdown should be built and the Progressive Board has expressed approval in principle if a workable solution can be found. Some changes to the current land ownership, including some land currently owned by council will need to occur in order to satisfy Progressive's commercial model. In particular, there needs to be some agreement on re-classification or re-dedication of existing land that is currently designated as paper roads.

Tony Whittaker then outlined the current position in that the Council would contemplate the necessary land changes but requested the views of the Committee. The Committee agreed that the proposal was worth pursuing but asked for some indicative design options that could show how the future public spaces (including the village square) might look. Tony undertook to try and get some indicative options presented at the next community committee meeting.

5.2. Speed limit Bylaw Changes 2018. Mayor Sanson outlined that the intent is to request feedback from the committee on Council's proposal to introduce speed limit changes

5.3. Pokeno Works & Issues: Status of items August 2018. Kevin Stokes spoke to the Works & Issues. There was some discussion about the proposed upgrade of various intersections leading off the Pokeno/Whangarata Road. Kevin will provide a diagram of what is proposed at these intersections and Helen asked that the residents on Pokeno Road be consulted as these changes to impact on them. Council has approved \$300 for administration of the committee and the committee will need to submit an invoice. Mayor Sanson mentioned that he has asked council staff to review current discretionary funding as he feels the current method of allocation is now outdated. It was proposed that the committee feels this allocation is insufficient and that council should consider a more equitable allocation. Mayor Sanson did remind the committee that there is a modest mayoral fund to which applications should be made.

5.4. Year to Date Service Request Report. Helen suggested that the report be tabled and that feedback could be provided to her. Cr Church pointed out that there were issues relating to water leaks

5.5. Bank Account for Pokeno Community Committee. It was proposed that the Pokeno Community Committee open an account with the ASB Bank and that the signatories be Helen Clotworthy, Lance Straker and Kris Hines

Moved: Helen Clotworthy

Seconded: Charles Hackett

5.6. Update on Christmas Parade (Allen Grainger). Alan spoke to this. He pointed out that the Tuakau Christmas parade costs approximately \$6,000 which they receive from a grant. Alan then indicated some of the costs he had determined would be incurred and the various plans, processes and insurances required. Mayor Sanson pointed out some options for funding such as the Event Fund or the Rural Discretionary Fund from Council. He also indicated that he would approve \$500 from the Mayors Discretionary Fund.

5.7. Councillors Reports. Cr Church delivered her report and reminded the committee that new road names are needed, the agreement with Auckland for free access to libraries ends in October. The issue about access to libraries to be put on the Works & Issues programme. Cr Church reminded the Committee that a blueprint meeting will be held in Tuakau on 15 August.

5.8. Committee Reports. Doug Rowe was unable to attend but Lance mentioned that apparently two cars were stolen from Helenslee Rd recently.

5.9. Next Meetings Agenda Items. Tony Whittaker will attend with a concept drawing on Market Square and update on Progressive discussions. Kevin will email Helen the outline plan for the road intersections.

5.10. General Business. Helen mentioned that we initially had a budget of \$5,000 to develop our website and that a local has set up a business which includes web development. Helen suggested this local person be asked to manage Pokeno website and asked the committee's views. Lance pointed out that currently, the website is being run for free for at least the next year. Mayor Sanson suggested that the website run by the Tamihere committee is a good model to look at and in order to help fund it, the Tamihere committee sells advertising space. Todd mentioned that he would like to see some data as to usage of the current site.

Todd also asked what the tilt slab development is that is currently under construction in the village. Helen indicated it will house a number of retail outlets including Dominoes, a liquor store and a grocery outlet.

Cr Church suggested that the Committee let Council know of any potential land acquisition opportunities that could be considered.

There being no further business, Helen thanked all who attended and declared the meeting closed at 9.00pm. The meeting is to be held on 11th September at 7.00pm

Open Meeting

To	Pokeno Community Committee
From	Ian Cathcart General Manager Service Delivery
Date	31 August 2018
Prepared by	Karen Bredesen PA General Manager Service Delivery
Chief Executive Approved	Y
Reference/Doc Set #	GOV0516
Report Title	Pokeno Works & Issues: Status of Items September 2018

1. EXECUTIVE SUMMARY

To update the Committee on issues arising from the previous meeting.

2. RECOMMENDATION

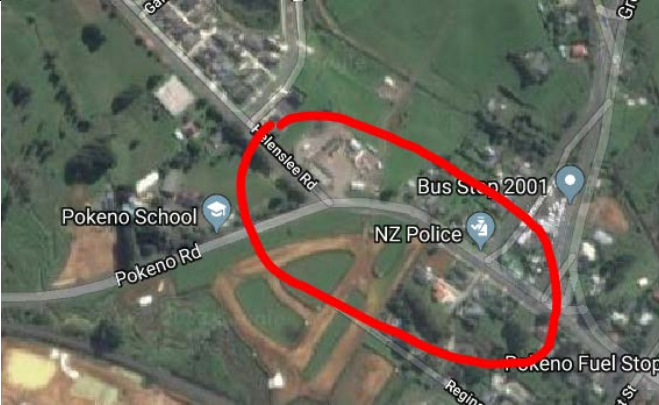
THAT the report from the **General Manager Service Delivery** be received.

3. ATTACHMENTS

- Pokeno Works & Issues: Status of Items August 2018

REPORT:

Issue	Area	Action	Comments
Real Estate Cars	Monitoring/ Craig	Real Estate is parking cars on the War Memorial area.	The area that the vehicles are parking is Road Reserve and they are permitted to park in this location.
Speed Limit Maps	Roading/ Gareth B	<ul style="list-style-type: none"> • Map 7 – missing the whole eastside of Pokeno (Kowhai Downs, from Dean Street, Fraser Street) currently 80km – needs to be 60km • Main Pokeno – Mercer maps speed limits are not correct (Cr Church) see email • Speed limits for Whangarata Road 	Speed management year 2 is underway at early engagement stage. Staff are gathering feedback from key stakeholders, community raised requests from the last 12 months, and Community Boards until the end of August. Staff will be preparing a comprehensive map update following this feedback and intend to go out to public consultation on these maps in October 2018. Consideration of the points raised are being included in this phase.
Dust from Truck Stop	Monitoring/ Craig	Increase in dust due to the increase in trucks stopping to fuel up before he adding into Auckland	<p>A Service Request has been lodged regarding the volume of dust in the main street. Council has contacted the owner of the truck stop formally and informed him of the issue. We are working with the owners to minimise the tracking of material from this site.</p> <p>Council has been contacted by Z truck-stop owner who has indicated that the site will be sealed within the next three months.</p>
Consultation around Road Upgrades	Programme Delivery	Has there been any consultation done with residents in the affected area?	<p>Planning is underway on the programmed Urban Upgrades for the collector roads (Pokeno Road, Great South Road), but as yet no direct consultation has been carried out with residents.</p> <p>Work is underway to update the traffic model to ensure the intersection designs will be appropriate for the expected volumes.</p> <p>The initial section of road programmed for upgrading (Pokeno Road from Pokeno School to Great South Road) has been surveyed and existing buried services are to be marked out and picked up by the surveyors in the next few weeks.</p>

Issue	Area	Action	Comments
		 <p data-bbox="790 582 1189 608">Area of initial Urban Upgrade works</p>	<p data-bbox="1332 175 2083 443">Counties Power are installing a new buried power cable from Helenslee Road through Pokeno Road and Great South Road to McDonald Road before the end of the year. WDC are investigating undergrounding the adjacent overhead cables as part of these works, if affordable. The section from Pokeno Road/Great South Road intersection to McDonald Road will be directionally drilled by Counties Power to minimise disruption to the CBD businesses.</p> <p data-bbox="1332 483 2083 715">WDC Waters Team will be installing additional wastewater rising mains and an additional watermain at the same time. Other utilities organisations will be consulted to ensure any foreseen services are installed or ducts put in for future use. The aim is to reduce any further disruption for the foreseeable future on the main street. The utilities survey will allow this to be efficiently coordinated.</p> <p data-bbox="1332 754 2083 850">The section of Great South Road from McDonald Road to Market Street will be resurfaced in asphalt (programmed for March/April 2019).</p> <p data-bbox="1332 890 2083 986">The survey will be used to design stormwater systems to resolve existing ponding issues and to enable the proposed roading upgrades.</p> <p data-bbox="1332 1026 2083 1161">While all this work is going on, preliminary roading designs will be developed in consultation with the Community Committee, and adjacent landowners and residents, then further developed into detailed construction drawings.</p> <p data-bbox="1332 1201 2083 1401">The urban upgrade works will proceed along Pokeno Road between Great South Road and Munro Road, and on Great South Road from Market Street to Dean Road over the next few years. The upgrade works will include intersection upgrades, kerb and channel, footpaths, and street lighting, with aerial cables undergrounded where affordable.</p>

Issue	Area	Action	Comments
Auckland Library Agreement	Customer Delivery Sue/Brian	Representation in regards to discussions around the Auckland City Library Agreement? Agreement is apparently coming to an end, how are people being notified of what is happening?	Negotiations are ongoing with Auckland Council. No options have been confirmed as yet and a communication plan will be created in due course.

Programme Delivery - Updates

Pokeno Library

- Planning phase is underway, this is a multi year project with the first year set aside to complete the scoping and design.
- Request for Expressions of Interest to undertake design work for libraries is to be advertised. This will package all upcoming library projects requiring design work. To consider a combined physical works contract for all libraries.

Pokeno Phase 3 Private Drainage

- Authority to undertake works adjacent to Queens Redoubt has been accepted for processing. This impacted connectivity for one private property.
- Contract for remaining private connections and Pokeno Toilet ready to be advertised.

Pokeno Toilet

- Design and specification documents complete and ready to be submitted for building consent. Building footprint to remain the same with accessibility issues addressed. Complete refurbishment with wall linings and lighting designed to mitigate privacy issues as far as practicable. Ventilation to be improved alongside connection to mains wastewater. Refer plans (for building consent) attached.



▪ ARCHITECTURE

Project No. 4272200

POKENO PUBLIC TOILETS

ISSUE FOR BUILDING CONSENT

Prepared for
WAIKATO DISTRICT COUNCIL

By
Beca

14.08.18



COMMON ABBREVIATIONS	
AH	ACCESS HATCH
AP	ACCESS PANEL
B/S	BOTH SIDES
CB	COACH BOLT
CS	COACH SCREW
COS	CHECK ON SITE
DIA	DIAMETER
DIM	DIMENSION
DPC	DAMP PROOF COURSE
DPM	DAMP PROOF MEMBRANE
DB	DISTRIBUTION BOARD
DPE	DOWNPIPE EXISTING
DP	DOWN PIPE
GT	GULLEY TRAP
HOR	HORIZONTAL
HL	HORIZONTAL LOUVRES
IB	INSPECTION BEND
IJ	INSPECTION JUNCTION
MAX	MAXIMUM
MIN	MINIMUM
mm	MILLIMETRE
m	METRE
NTS	NOT TO SCALE
NZS	NEW ZEALAND STANDARD
O/A	OVERALL
O/H	OVERHEAD
O/F	OVERFLOW
PC	PRECAST CONCRETE
PD	POINT DRAIN
R	RADIUS
RAD	RADIATA
REF	REFERENCE
RC	REINFORCED CONCRETE
RL	REDUCED LEVEL
RO	ROUGH OPENING
SPEC	SPECIFICATION
S/S	STAINLESS STEEL
sq/m	SQUARE METRE
SV	SERVICES VOID
SIM	SIMILAR
TYP	TYPICAL
TV	TERMINAL VENT
US	UPSTAND
u/s	UNDERSIDE
VERT	VERTICAL
W	WATT
WT	WALL THICKNESS

GENERAL NOTES

- IF THE CONTRACTOR FINDS ANY INCONSISTENCY, ERROR OR OMISSION IN THE DOCUMENTS, OR BETWEEN DOCUMENTS, THE ARCHITECT MUST BE NOTIFIED.
- THE CONTRACTOR IS TO READ ALL DRAWINGS TO COORDINATE FIXTURES, FITTINGS AND DIMENSIONS.
- ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE BEFORE FABRICATION.
- ALL DIMENSIONS ARE TO FACE OF THE LININGS UNLESS NOTED OTHERWISE.
- MATERIAL PERFORMANCE TO COMPLY WITH ALL ASPECTS OF THE NAZI BUILDING CODE, APPROVED DOCUMENTS AND NZS 3604:2011.
- APPLY PROPRIETARY MATERIALS AND COMPONENTS TO THE MANUFACTURER'S EXPRESS WRITTEN INSTRUCTIONS.
- DO NOT SCALE DRAWINGS
- ALL DIMENSIONS ARE IN MILLIMETRES

TIMBER:

- UNLESS SPECIFICALLY INDICATED OTHERWISE ALL WALL FRAMING IS TO COMPLY WITH NZS 3604:2011.
- ALL TIMBER FRAMING TO BE RADIATA PINE NO. 1 FRAMING H1.2 TREATED AND KILN DRIED, UNO. 90X45 WALL FRAMING @ 600CTRS TO SUIT CLADDING & LININGS. BOTTOM PLATES TO BE H3.2 TREATED.
- FRAMING TIMBER MOISTURE CONTENT SHALL BE 15% MAXIMUM WHEN LINING AND FINISHING MEMBERS ARE FIXED. DRESSING AND FINISHING TIMBER 12% MAXIMUM WHEN FINISHED.

ELECTRICAL:

- ALL NEW ELECTRICAL FITTINGS ARE TO BE RECONNECTED TO EXISTING. EXISTING ELECTRICAL SERVICES TO REMAIN UNALTERED
- ALLOW TO CONNECT NEW ROOF FANS TO EXISTING LIGHT SENSORS.

PLUMBING:

- ALL NEW PLUMBING FITTINGS ARE TO BE RECONNECTED TO EXISTING. EXISTING PLUMBING SERVICES TO REMAIN UNALTERED

WALL LININGS:

- REMOVE ALL EXISTING WALL LININGS TO MALE AND FEMALE BATHROOMS.
- PREPARE TO INSTALL SERATONE OVER 10mm GIB AQUALINE
- REPAINT EXISTING CEILING TO A L4 FINISH

GENERAL DOOR NOTES

- CHECK ALL DOOR HEIGHTS ON SITE PRIOR TO MANUFACTURE - FULL HEIGHT DOOR FINAL SIZE TO BE DETERMINED BY PROPRIETARY PARTITION SYSTEM SECTION
- ALL DOOR DIMENSIONS ARE TO LEAF ONLY AND NOT ROUGH OPENING UNLESS NOTED OTHERWISE
- ALL >2400mm HEIGHT DOORS HAVE 5 HINGES
- ALL <2400mm HEIGHT DOORS HAVE 4 HINGES
- HINGES TO BE EVENLY SPACES HEAVY DUTY STAINLESS STEEL
- ALL DOORS TO BE UNDERCUT SUBJECT TO FLOOR FINISHES AND BOTTOM SEAL CONDITIONS
- ALL DOOR HANDLE HEIGHTS TO BE 1000mm AFL UNLESS OTHERWISE NOTED.

DRAWING ANNOTATIONS

DOORS & WINDOWS

DOOR NUMBERS

D = DOOR
1 = LEVEL 1
01 = DOOR NUMBER

WINDOW NUMBERS

W = WINDOW
G = GROUND LEVEL
02 = WINDOW NUMBER

WALL FRAMING LINING, AND FINISHES KEY

F = WALL TYPE

REFER IN CONJUNCTION WITH THE SPECIFIC LEGENDS WHICH ARE LOCATED ON EITHER THE FLOOR PLANS OR ON A SEPARATE KEYNOTES SHEET

FLOOR FINISHES SYMBOL

FL01 = FLOOR FINISH

REFER IN CONJUNCTION WITH THE SPECIFIC LEGENDS WHICH ARE LOCATED ON EITHER THE FLOOR PLANS OR ON A SEPARATE KEYNOTES SHEET

CEILING FRAMING, LINING, AND FINISHES SYMBOL

CL01 = CEILING LINING & FINISH

REFER IN CONJUNCTION WITH THE SPECIFIC LEGENDS WHICH ARE LOCATED ON EITHER THE FLOOR PLANS OR ON A SEPARATE KEYNOTES SHEET

ROOM NUMBERS

AREA (IF REQUIRED)
LEVEL
NUMBER
NAME ← ROOM NAME

EXPRESSION OF LEVELS

RL 17.520 REDUCED LEVEL FOR PLAN VIEWS

+ 17.520 SPOT LEVEL

FFL 17.520 FINISHED FLOOR LEVEL FOR AREAS WITH CARPET, VINYL TILES FIXED DIRECTLY TO SL, AND PAINT FINISHES
FFL-SURFACE LEVEL

FCL 17.520 FINISHED CEILING LEVEL

SL 17.520 STRUCTURAL SURFACE LEVEL FOR CONCRETE WORK SL INCLUDES ALL CONCRETE TOPPING SLABS AND LEVELLING SCREEDS

RL 17.520 REDUCED LEVEL

PROJECT TITLE REFERENCE

LETTER - FOR PLAN AND DETAIL
NUMBER - FOR SECTION, ELEVATION CUT DETAIL
SECTION
1:100
BACK REFERENCE TO THE DRAWING SHEET THE DETAIL IS REFERENCED FROM

REFERENCE SYMBOLS

LONG, CROSS, & DETAIL SECTIONS
PLAN DETAILS, CALLOUTS
ELEVATIONS
ROOM ELEVATIONS

NORTH SYMBOL

AR-CONSTRUCTION DRAWING LIST

DWG No.	REV	DRAWING TITLE
AR-0000 GENERAL		
AR-0101	0	COVER SHEET
AR-0201	0	NZ DRAWING STANDARD CONVENTIONS & INDEX
AR-1000 DEMOLITION AND SITE WORKS		
AR-1000	0	SITE PLAN & EXISTING SERVICES
AR-3000 FLOOR PLANS		
AR-3100	0	DEMOLITION FLOOR PLAN
AR-3101	0	PROPOSED PLAN
AR-3102	0	PLUMBING PLAN
AR-3200	0	ROOF PLAN
AR-3300 RCP		
AR-3301	0	RCP - GROUND
AR-4000 ELEVATIONS		
AR-4100	0	EXTERNAL ELEVATIONS
AR-4101	0	EXTERNAL ELEVATIONS 2
AR-5000 SECTIONS		
AR-5100	0	SECTIONS
AR-5101	0	ACCESSIBLE RAMP SECTIONS
AR-7000 CONSTRUCTION DETAILS		
AR-7001	0	CONSTRUCTION DETAILS
AR-9000 SCHEDULING		
AR-9100	0	WINDOW & DOOR SCHEDULE



No.	Revision	By	Chk	Appd	Date
0	ISSUE FOR BUILDING CONSENT	CS	SM	AJ	16.08.18

Drawing Originator:

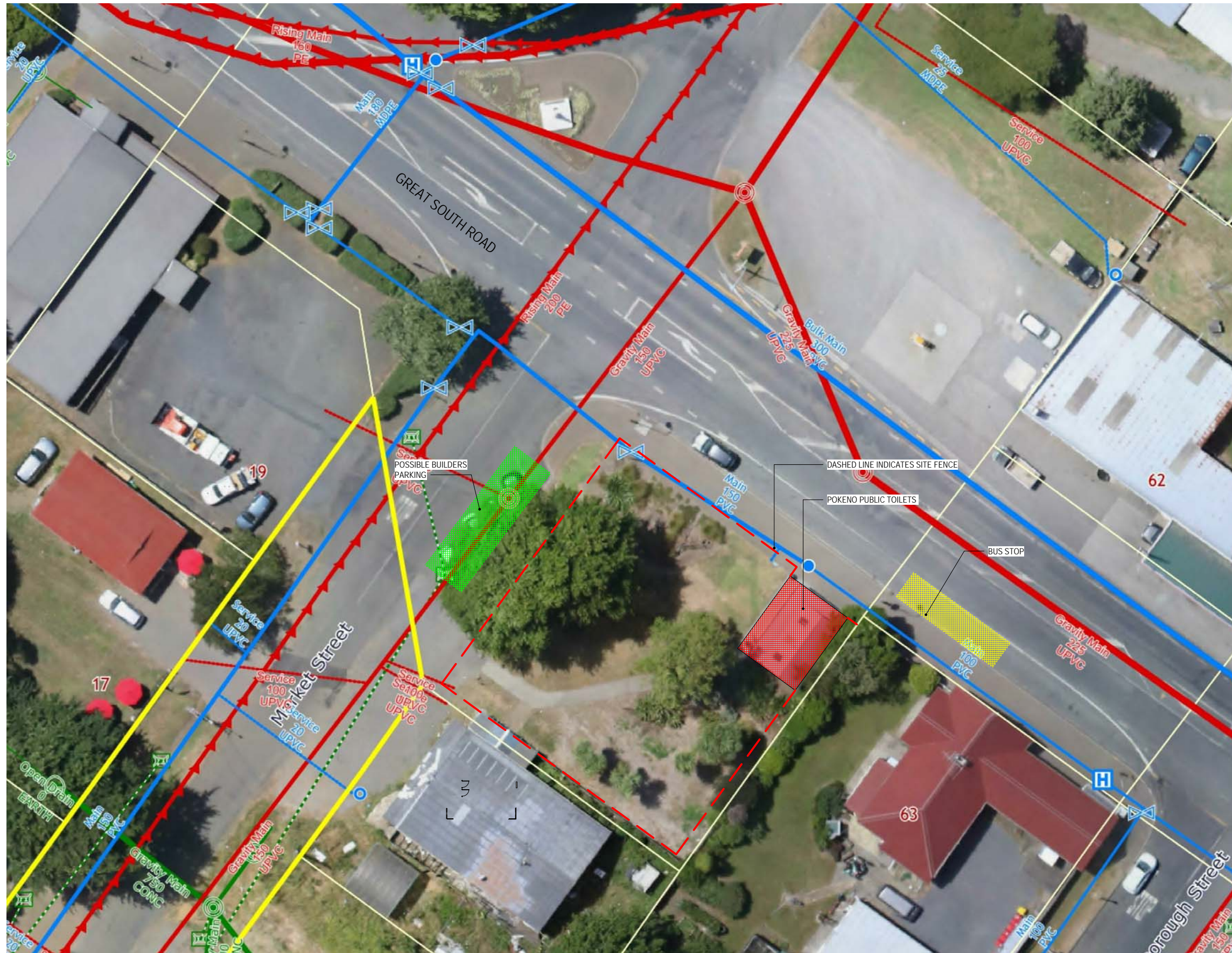
Original Scale (A1)	Design	CBS	21.05.18
As indicated	Drawn	CBS	21.05.18
Reduced Scale (A3)	Dwg Verifier	SM	14.08.18
Hall A1	Dwg Check	PDM	13.08.18

Client: WAIKATO DISTRICT COUNCIL

Project: POKENO PUBLIC TOILETS

Title: NZ DRAWING STANDARD CONVENTIONS & INDEX

Discipline	ARCHITECTURE
Drawing No.	4272200-AR-0201
Rev.	0



SITE NOTES

THE POKENO PUBLIC TOILETS ARE LOCATED ON COUNCIL LAND. PLEASE REFER TO CERTIFICATE OF TITLE FOR FURTHER INFORMATION.

LEGAL DESCRIPTION:
SECTION 1 SURVEY OFFICE PLAN 61580

IMAGES FROM WDC INTRAMAPS
BOUNDARY LINES IN YELLOW

POKENO PUBLIC TOILETS

DASHED LINE INDICATES CONSTRUCTION SITE FENCE. CONTRACTOR TO ERECT SITE FENCE.

GROSS FLOOR AREA

THE EXISTING BUILDING SIZE REMAINS UNALTERED

30 sqm	FLOOR PLAN
46 sqm	INCLUDING COVERED CANOPIES

STORMWATER + SANITARY

ALL STORMWATER CONNECTIONS REMAIN UNALTERED. NEW SANITARY FITTINGS CONNECT INTO EXISTING SERVICES

SITE FENCE

AS PER CLAUSE 1.12 OF F5/AS1 "AN ACCEPTABLE FENCE MAYBE CONSTRUCTED WITH GALVANISED CHAINLINK NETTING HAVING A MAXIMUM SIZED GRID OF 50mm x 50mm. POST SPACING SHALL BE A MAXIMUM OF 2.5m AND THE GAP BETWEEN THE BOTTOM OF THE FENCE AND GROUND NO GREATER THAN 100mm".



FOR BUILDING CONSENT

0	ISSUE FOR BUILDING CONSENT	CS	SM	AJ	16.08.18
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Client: WAIKATO DISTRICT COUNCIL

Project: POKENO PUBLIC TOILETS

Title: SITE PLAN & EXISTING SERVICES

Discipline	ARCHITECTURE
Drawing No.	4272200-AR-1000
Rev.	0

DEMOLITION LEGEND

-  EXISTING DOOR TO REMAIN
-  EXISTING DOOR REMOVE
-  EXISTING WALL TO REMAIN
-  EXISTING FITTINGS AND LININGS TO BE REMOVED

NOTES

- A. CO-ORDINATE EXTENT OF DEMOLITION WORKS WITH ARCHITECTURAL, STRUCTURAL AND ELECTRICAL
- B. MAKE GOOD ALL AREAS AND MATERIALS AFFECTED BY DEMOLITION
- C. DO NOT SCALE DRAWINGS
- D. ALL DIMENSIONS ARE IN MILLIMETRES THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE DEMOLITION SPECIFICATION
- F. REASONABLE CARE SHOULD ALWAYS BE TAKEN TO PROTECT AND PRESERVE ALL ELEMENTS WHICH ARE NOT DUE FOR DEMOLITION
- G. CONTRACTOR TO TERMINATE AND CAP ALL EXISTING SERVICES INCLUDING AND WHERE APPLICABLE ELECTRICAL, MECHANICAL, WATER, SEWER, STORM WATER AND FIRE MAIN.

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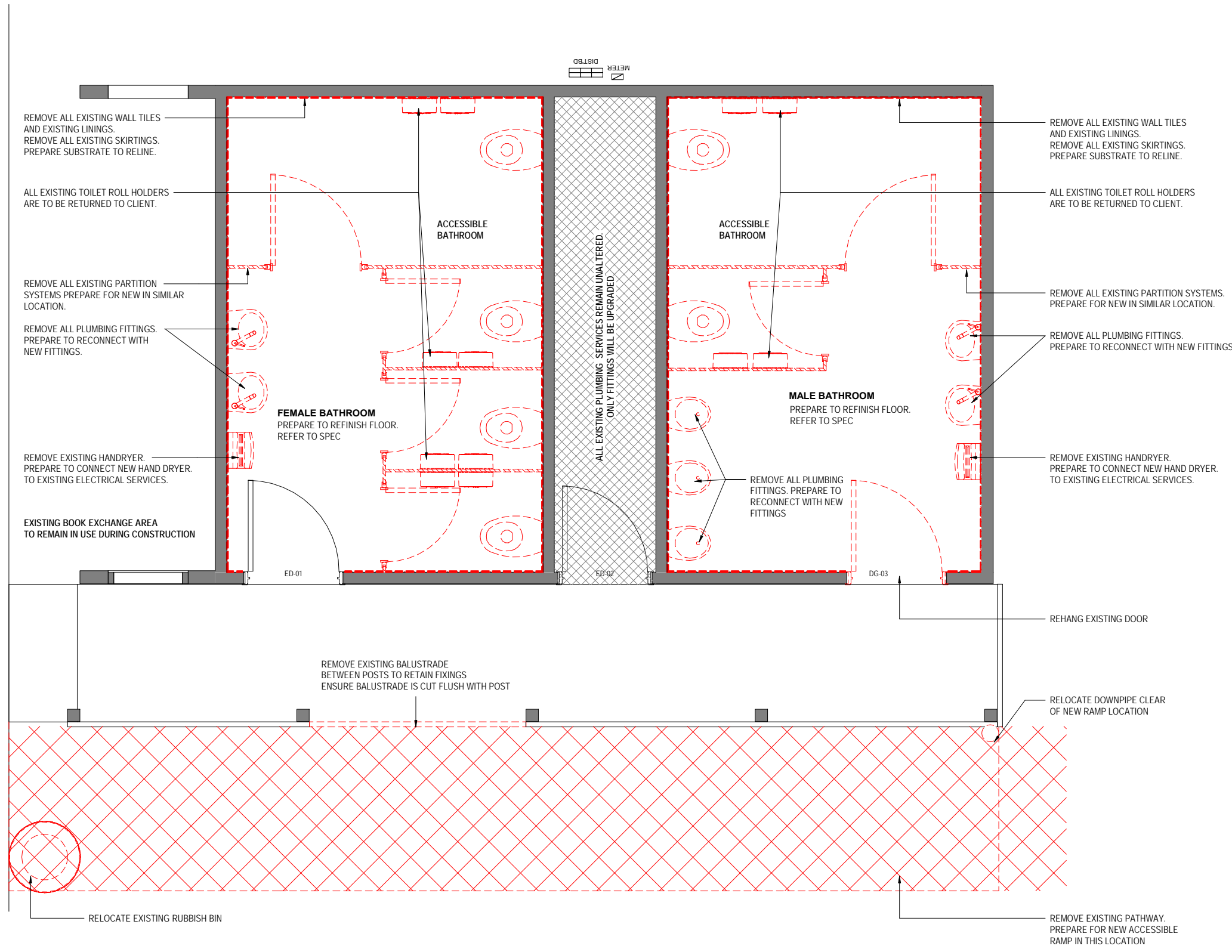
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FOR BUILDING CONSENT

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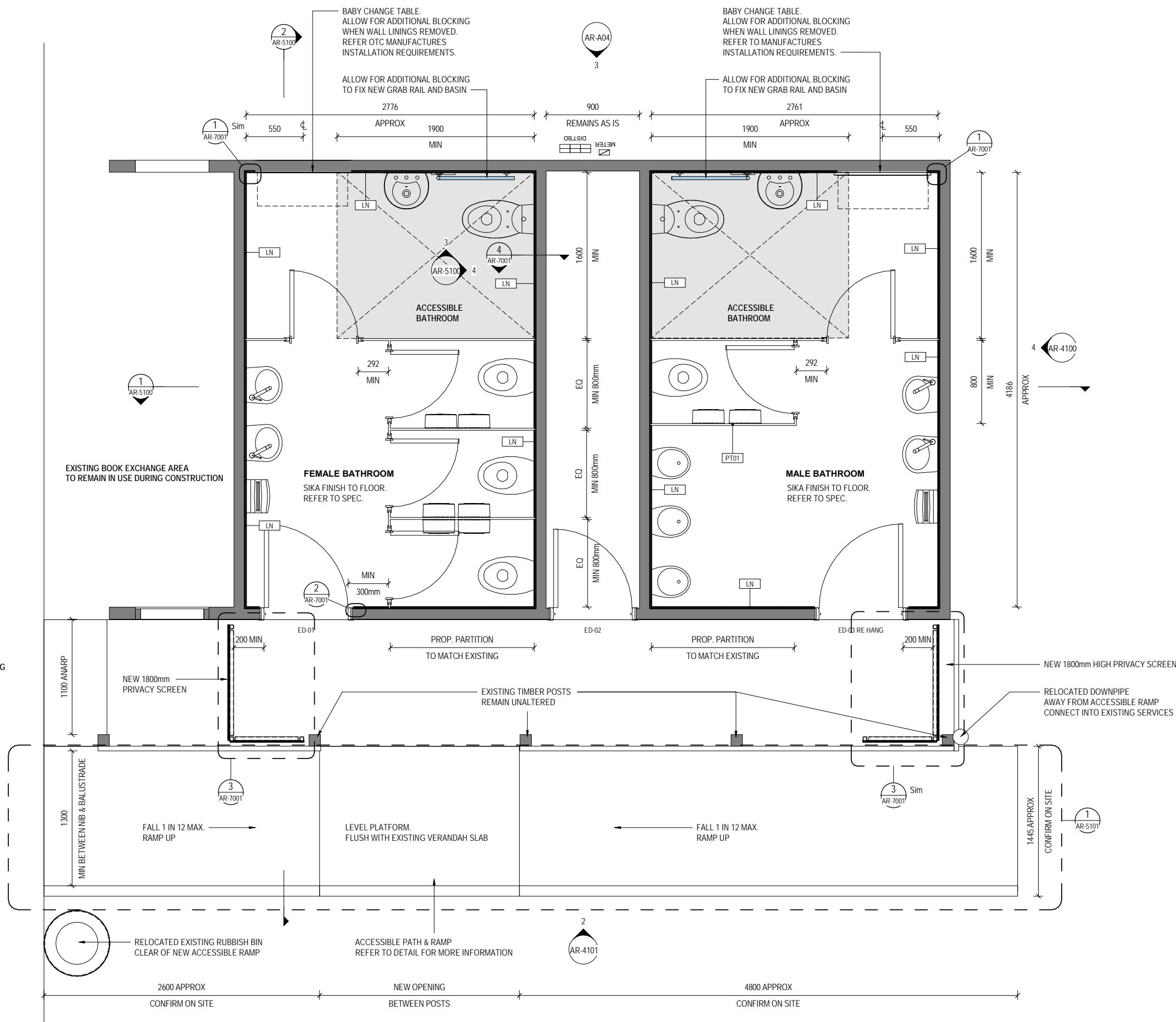
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Client: WAIKATO DISTRICT COUNCIL

Project: POKENO PUBLIC TOILETS

Title: DEMOLITION FLOOR PLAN

Discipline	ARCHITECTURE
Drawing No.	4272200-AR-3100
Rev.	0



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WALL TYPES

- EXISTING WALL**
REMOVE ALL INTERNAL WALL LININGS AND FINISHES
- NEW WALL LININGS**
RELINE ALL BATHROOMS WITH 10mm GIB AQUALINE + 4.5mm SERATONE. EXISTING WALL STRUCTURE REMAINS UNALTERED. ALLOW FOR ADDITIONAL BLOCKING IF REQUIRED TO SUPPORT NEW FITTINGS. REFER TO SPECIFICATION.
- TOILET PARTITIONS**
PROPRIETARY TOILET PARTITION SYSTEM. REFER TO SPECIFICATION

THE EXISTING COVERED WALKWAY IS CURRENTLY 1100mm BETWEEN THE EXISTING VERANDAH POSTS AND EXTERNAL WALL. THE COVERED WALKWAY HAS BEEN CONFIRMED TO BE "AS NEAR AS REASONABLY PRACTICABLE" BY WDC.

EXISTING BOOK EXCHANGE AREA TO REMAIN IN USE DURING CONSTRUCTION

FEMALE BATHROOM
SIKA FINISH TO FLOOR. REFER TO SPEC.

MALE BATHROOM
SIKA FINISH TO FLOOR. REFER TO SPEC.

FALL 1 IN 12 MAX. RAMP UP

LEVEL PLATFORM. FLUSH WITH EXISTING VERANDAH SLAB

FALL 1 IN 12 MAX. RAMP UP

RELOCATED EXISTING RUBBISH BIN CLEAR OF NEW ACCESSIBLE RAMP

ACCESSIBLE PATH & RAMP REFER TO DETAIL FOR MORE INFORMATION

NEW 1800mm HIGH PRIVACY SCREEN
RELOCATED DOWNPIPE AWAY FROM ACCESSIBLE RAMP. CONNECT INTO EXISTING SERVICES

FOR BUILDING CONSENT

No.	Revision	By	Chk	Appd	Date
0	ISSUE FOR BUILDING CONSENT	CS	SM	AJ	16.08.18



Original Scale (A1)	Design	CBS	21.05.18
As indicated <td>Drawn <td>CBS <td>21.05.18</td> </td></td>	Drawn <td>CBS <td>21.05.18</td> </td>	CBS <td>21.05.18</td>	21.05.18
Reduced Scale (A3) <td>Desg Verifier <td>SM <td>14.08.18</td> </td></td>	Desg Verifier <td>SM <td>14.08.18</td> </td>	SM <td>14.08.18</td>	14.08.18
Hall A1 <td>Dwg Check <td>PDM <td>13.08.18</td> </td></td>	Dwg Check <td>PDM <td>13.08.18</td> </td>	PDM <td>13.08.18</td>	13.08.18

Client:	WAIKATO DISTRICT COUNCIL
Project:	POKENO PUBLIC TOILETS

Title:	PROPOSED PLAN
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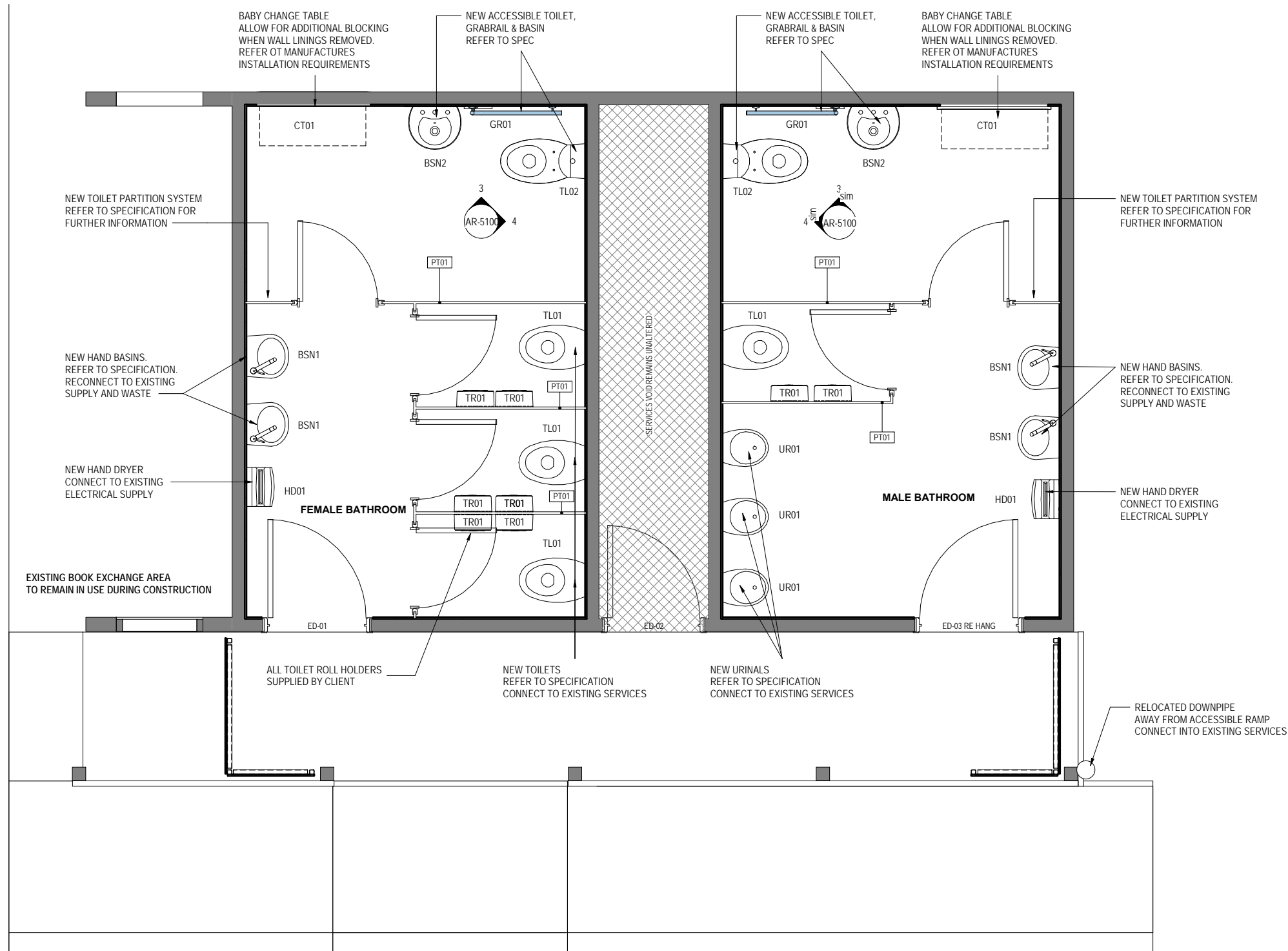
Discipline:	ARCHITECTURE
Drawing No.	4272200-AR-3101
Rev.	0

SANITARY LEGEND

PLEASE NOTE:
ALL PLUMBING FIXTURES ARE TO BE UPGRADED AND RECONNECTED TO EXISTING.
ALL EXISTING PIPE SERVICES ARE TO REMAIN AS IS.

REFER TO SPECIFICATION FOR TYPE.

- BSN1 HAND BASIN COMPLETE WITH MIXER
- BSN2 ACCESSIBLE HAND BASIN COMPLETE WITH MIXER
- CT01 CHANGE TABLE
- GR01 GRAB RAIL
- PT01 NEW PROPRIETARY PARTITION SYSTEM REFER TO SPECIFICATION FOR FURTHER INFORMATION
- TL01 WALL FACED TOILET PAN AND SEAT, CONCEALED IN WALL CISTERN WITH PUSH PLATE.
- TL02 ACCESSIBLE WALL FACED TOILET PAN AND SEAT, SEAT TO HAVE NON SLID BRACKETS ATTACHED, CONCEALED IN WALL CISTERN WITH PUSH PLATE.
- TR01 TOILET ROLL HOLDER TO BE SUPPLIED BY CLIENT
- SP SOAP DISPENSER SUPPLIED BY CLIENT



FOR BUILDING CONSENT

0	ISSUE FOR BUILDING CONSENT	CS	SM	AJ	16.08.18
No.	Revision	By	Chk	Appd	Date



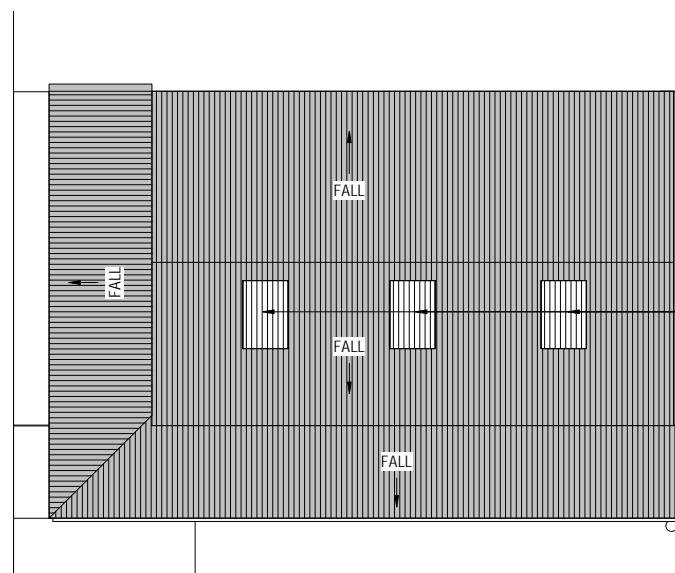
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As indicated	Drawn	CBS	21.05.18
Reduced Scale (A3)	Dwg Verifier	SM	14.08.18
Hall A1	Dwg Check	PDM	13.08.18

Client: WAIKATO DISTRICT COUNCIL

Project: POKENO PUBLIC TOILETS

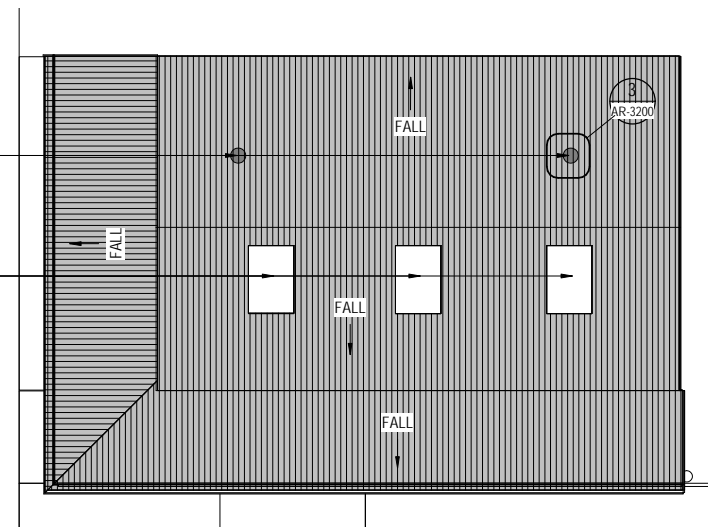
Title: PLUMBING PLAN

Discipline	ARCHITECTURE
Drawing No.	4272200-AR-3102
Rev.	0



1 EXISTING ROOF PLAN
1:50

NEW ROOF EXTRACT FANS FOR MALE AND FEMALE TOILETS. 1x FAN PER ROOM
FLOW RATE: 125L/s
PRESSURE DEVELOPMENT: 40Pa.
FLASH WITH DEKTITE PREMIUM FLASHING. REFER TO SPECIFICATION.



2 PROPOSED ROOF PLAN
1:50

EXTRACT FAN CALCULATION:

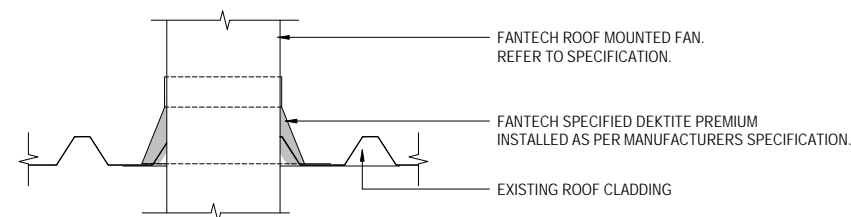
NEW EXTRACT FANS ARE IN ACCORDANCE WITH AS1668.2:2002 & NZBC G4/AS1 AS FOLLOWS

MALE TOILET

5x FIXTURES (2x WC, 3x URINAL)
25L/s
MINIMUM TOTAL EXHAUST RATE = 125L/s

FEMALE TOILET

4x FIXTURES (4x WC)
25L/s
MINIMUM TOTAL EXHAUST RATE = 100L/s



3 VENT FLASHING DETAIL
1:5

GENERAL NOTES

- IF THE CONTRACTOR FINDS ANY INCONSISTENCY, ERROR OR OMISSION IN THE DOCUMENTS, OR BETWEEN DOCUMENTS, THE ARCHITECT MUST BE NOTIFIED.
- THE CONTRACTOR IS TO READ ALL DRAWINGS TO COORDINATE FIXTURES, FITTINGS AND DIMENSIONS.
- ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE BEFORE FABRICATION.
- ALL DIMENSIONS ARE TO FACE OF THE LININGS UNLESS NOTED OTHERWISE.
- MATERIAL PERFORMANCE TO COMPLY WITH ALL ASPECTS OF THE NAZ BUILDING CODE, APPROVED DOCUMENTS AND NZS 3604:2011.
- APPLY PROPRIETARY MATERIALS AND COMPONENTS TO THE MANUFACTURER'S EXPRESS WRITTEN INSTRUCTIONS.
- DO NOT SCALE DRAWINGS
- ALL DIMENSIONS ARE IN MILLIMETRES

TIMBER:

- UNLESS SPECIFICALLY INDICATED OTHERWISE ALL WALL FRAMING IS TO COMPLY WITH NZS 3604:2011.
- ALL TIMBER FRAMING TO BE RADIATA PINE NO. 1 FRAMING H1.2 TREATED AND KILN DRIED, UNO. 90X45 WALL FRAMING @ 600CTRS TO SUIT CLADDING & LININGS. BOTTOM PLATES TO BE H3.2 TREATED.
- FRAMING TIMBER MOISTURE CONTENT SHALL BE 15% MAXIMUM WHEN LINING AND FINISHING MEMBERS ARE FIXED. DRESSING AND FINISHING TIMBER 12% MAXIMUM WHEN FINISHED.

ELECTRICAL:

- ALL NEW ELECTRICAL FITTINGS ARE TO BE RECONNECTED TO EXISTING. EXISTING ELECTRICAL SERVICES TO REMAIN UNALTERED
- ALLOW TO CONNECT NEW ROOF FANS TO EXISTING LIGHT SENSORS.

PLUMBING:

- ALL NEW PLUMBING FITTINGS ARE TO BE RECONNECTED TO EXISTING. EXISTING PLUMBING SERVICES TO REMAIN UNALTERED

WALL LININGS:

- REMOVE ALL EXISTING WALL LININGS TO MALE AND FEMALE BATHROOMS. PREPARE TO INSTALL SERATONE OVER 10mm GIB AQUALINE REPAINT EXISTING CEILING TO A L4 FINISH

FOR BUILDING CONSENT

No.	Revision	By	Chk	Appd	Date
0	ISSUE FOR BUILDING CONSENT	CS	SM	AJ	16.08.18



Original Scale (A1)	Design	CBS	21.05.18
As indicated	Drawn	CBS	21.05.18
Reduced Scale (A3)	Dwg Verifier	SM	14.08.18
Hall A1	Dwg Check	PDM	13.08.18

Client: WAIKATO DISTRICT COUNCIL

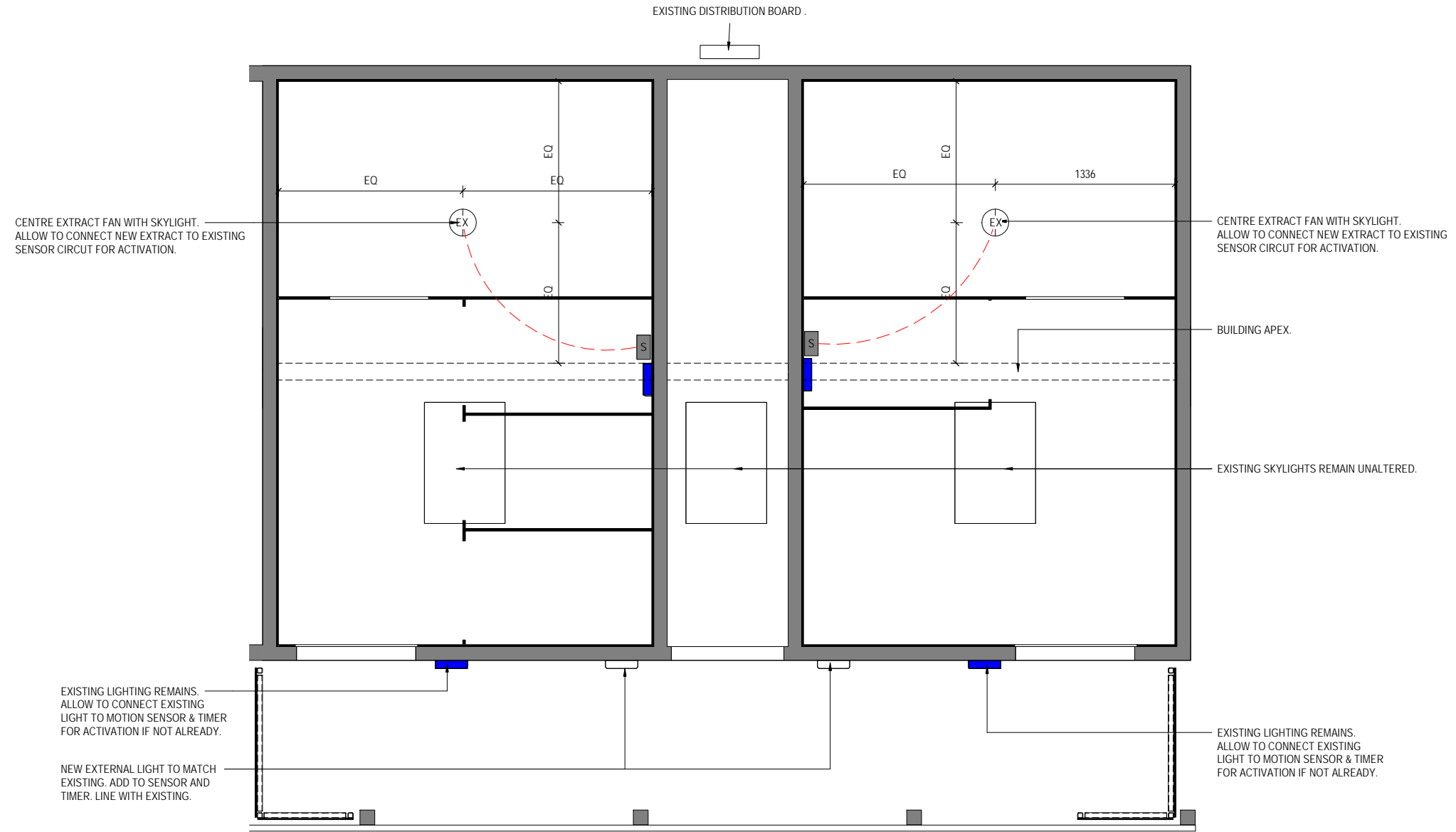
Project: POKENO PUBLIC TOILETS

Title: ROOF PLAN

Discipline	ARCHITECTURE
Drawing No.	4272200-AR-3200
Rev.	0

CEILING FINISH LEGEND

- NC EXISTING CEILING LININGS REMAIN UNALTERED. ALLOW TO REPAINT L4 FINISH. REFER SPECIFICATION.
- EX NEW EXTRACT VENT. REFER TO TO SPEC.
- S EXISTING WALL MOUNTED LIGHT SENSOR. ALLOW TO CONNECT EXTRACT. REFER TO SPEC.
- EXISTING WALL MOUNTED LIGHT.
- FCL 2700 HEIGHT ABOVE FINISHED FLOOR LEVEL.
- A CEILING CONSTRUCTION TYPE:



1 PROPOSED CEILING PLAN
1:20

**ORIGINAL DRAWING
IN COLOUR**

FOR BUILDING CONSENT

No.	Revision	By	Chk	Appd	Date
0	ISSUE FOR BUILDING CONSENT	CS	SM	AJ	16.08.18



Original Scale (A1)	Design	CBS	21.05.18
As indicated	Drawn	CBS	21.05.18
Reduced Scale (A3)	Dwg Verifier	SM	14.08.18
Hall A1	Dwg Check	PDM	13.08.18

Client: WAIKATO DISTRICT COUNCIL

Project: POKENO PUBLIC TOILETS

Title: RCP - GROUND

Discipline	ARCHITECTURE
Drawing No.	4272200-AR-3301
Rev.	0

GENERAL NOTES

- IF THE CONTRACTOR FINDS ANY INCONSISTENCY, ERROR OR OMISSION IN THE DOCUMENTS, OR BETWEEN DOCUMENTS, THE ARCHITECT MUST BE NOTIFIED.
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- DO NOT SCALE DRAWINGS
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TIMBER:

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- FRAMING TIMBER MOISTURE CONTENT SHALL BE 15% MAXIMUM WHEN LINING AND FINISHING MEMBERS ARE FIXED. DRESSING AND FINISHING TIMBER 12% MAXIMUM WHEN FINISHED.

ELECTRICAL:

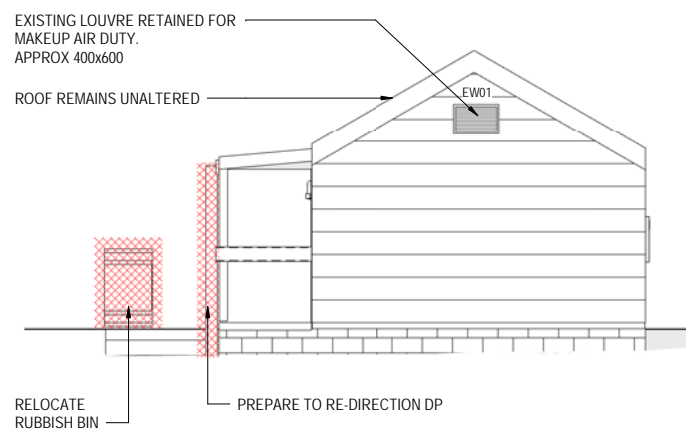
- ALL NEW ELECTRICAL FITTINGS ARE TO BE RECONNECTED TO EXISTING. EXISTING ELECTRICAL SERVICES TO REMAIN UNALTERED
- ALLOW TO CONNECT NEW ROOF FANS TO EXISTING LIGHT SENSORS.

PLUMBING:

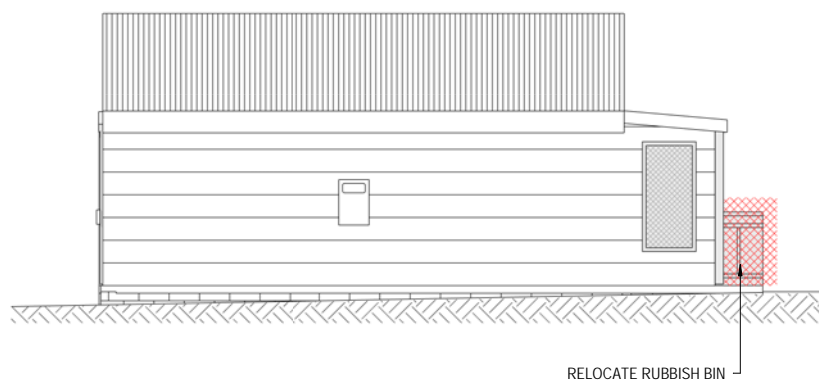
- ALL NEW PLUMBING FITTINGS ARE TO BE RECONNECTED TO EXISTING. EXISTING PLUMBING SERVICES TO REMAIN UNALTERED

WALL LININGS:

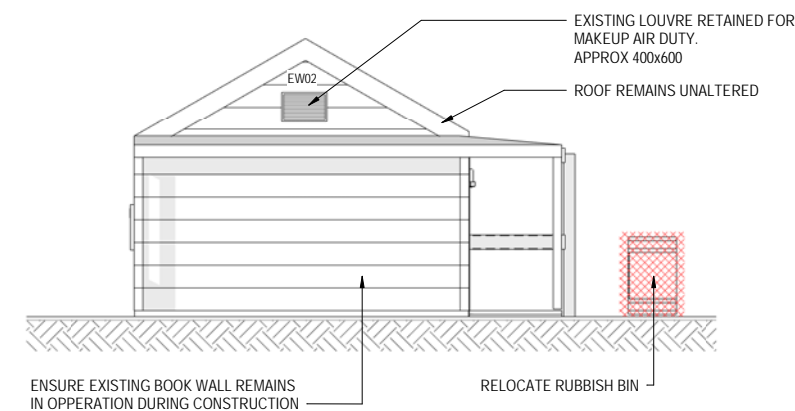
- REMOVE ALL EXISTING WALL LININGS TO MALE AND FEMALE BATHROOMS. PREPARE TO INSTALL SERATONE OVER 10mm GIB AQUALINE. REPAINT EXISTING CEILING TO A L4 FINISH



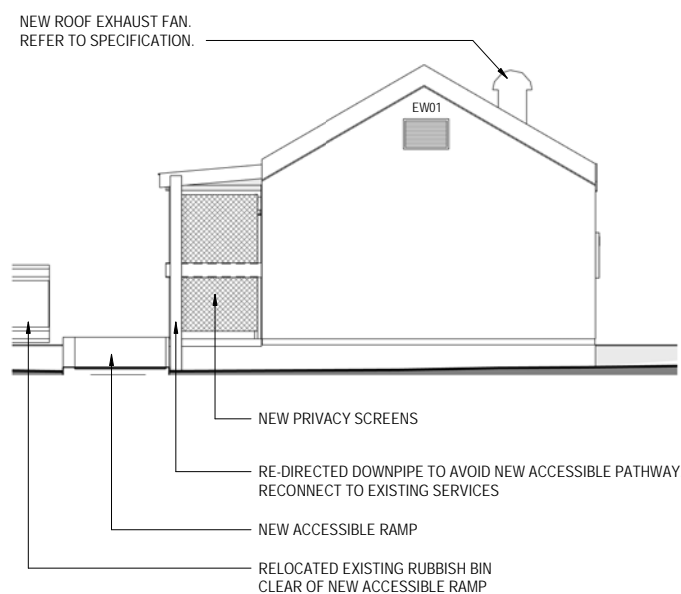
1 EXISTING - SOUTH ELEVATION
1 : 50



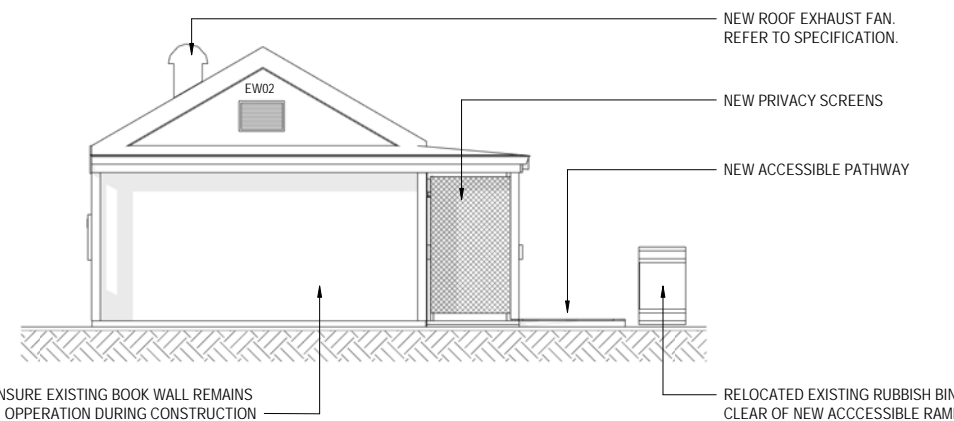
2 EXISTING - EAST ELEVATION - REMAINS UNALTERED
1 : 50



3 EXISTING - NORTH ELEVATION
1 : 50



4 PROPOSED - SOUTH ELEVATION
1 : 50



5 PROPOSED - NORTH ELEVATION
1 : 50



FOR BUILDING CONSENT

No.	Revision	By	Chk	Appd	Date
0	ISSUE FOR BUILDING CONSENT	CS	SM	AJ	16.08.18



Original Scale (A1)	Design	CBS	21.05.18	Approved for Construction*
As indicated	Drawn	CBS	21.05.18	
Reduced Scale (A3)	Dwg Verifier	SM	14.08.18	
Hall A1	Dwg Check	PDM	13.08.18	Date

* Refer to Revision 1 for Original Signatures

Client:	WAIKATO DISTRICT COUNCIL
Project:	POKENO PUBLIC TOILETS

Title:	EXTERNAL ELEVATIONS
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Discipline:	ARCHITECTURE
Drawing No.	4272200-AR-4100
Rev.	0

GENERAL NOTES

- IF THE CONTRACTOR FINDS ANY INCONSISTENCY, ERROR OR OMISSION IN THE DOCUMENTS, OR BETWEEN DOCUMENTS, THE ARCHITECT MUST BE NOTIFIED.
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- MATERIAL PERFORMANCE TO COMPLY WITH ALL ASPECTS OF THE NAZI BUILDING CODE, APPROVED DOCUMENTS AND NZS 3604:2011.
- APPLY PROPRIETARY MATERIALS AND COMPONENTS TO THE MANUFACTURER'S EXPRESS WRITTEN INSTRUCTIONS.
- DO NOT SCALE DRAWINGS
- ALL DIMENSIONS ARE IN MILLIMETRES

TIMBER:

- UNLESS SPECIFICALLY INDICATED OTHERWISE ALL WALL FRAMING IS TO COMPLY WITH NZS 3604:2011.
- ALL TIMBER FRAMING TO BE RADIATA PINE NO.1 FRAMING H1.2 TREATED AND KILN DRIED, UNO. 90X45 WALL FRAMING @ 600CTRS TO SUIT CLADDING & LININGS. BOTTOM PLATES TO BE H3.2 TREATED.
- FRAMING TIMBER MOISTURE CONTENT SHALL BE 15% MAXIMUM WHEN LINING AND FINISHING MEMBERS ARE FIXED. DRESSING AND FINISHING TIMBER 12% MAXIMUM WHEN FINISHED.

ELECTRICAL:

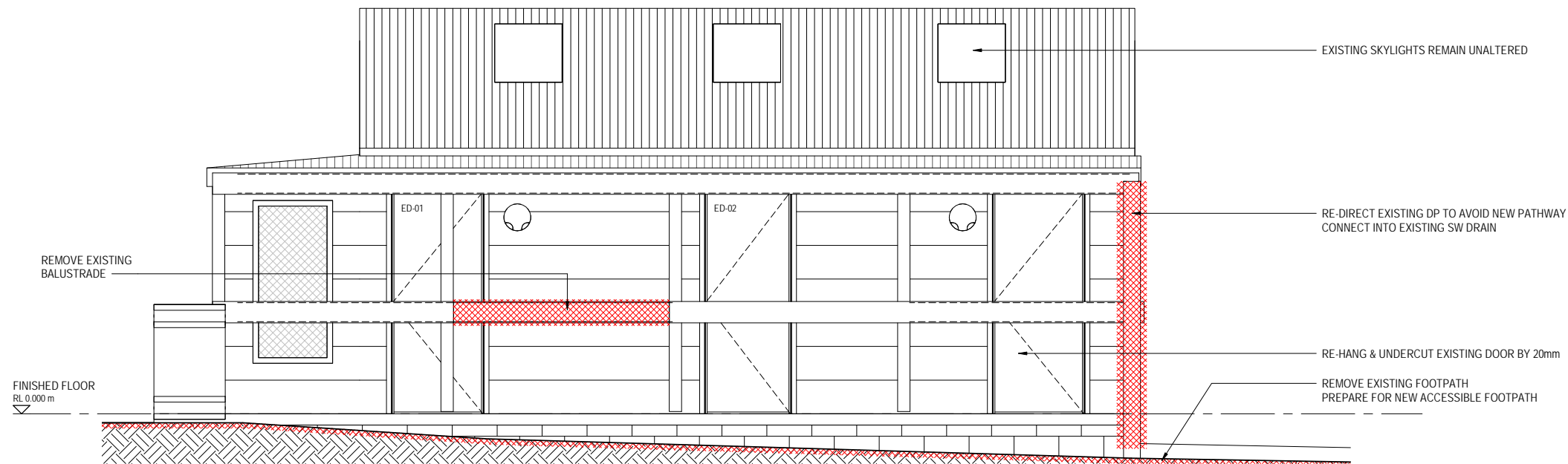
- ALL NEW ELECTRICAL FITTINGS ARE TO BE RECONNECTED TO EXISTING. EXISTING ELECTRICAL SERVICES TO REMAIN UNALTERED
- ALLOW TO CONNECT NEW ROOF FANS TO EXISTING LIGHT SENSORS.

PLUMBING:

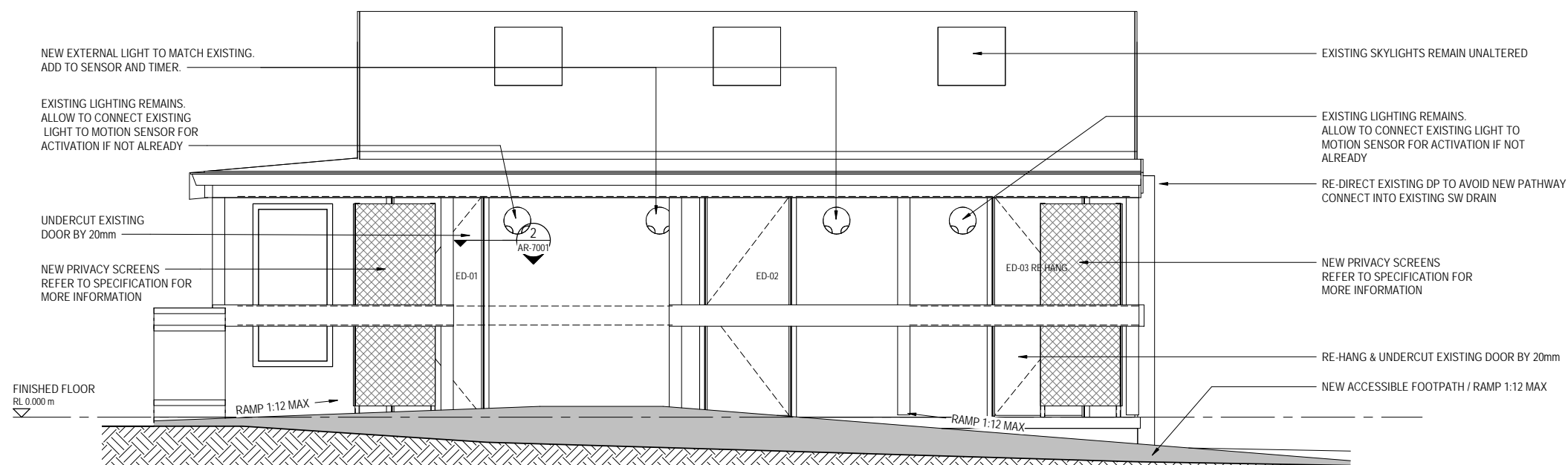
- ALL NEW PLUMBING FITTINGS ARE TO BE RECONNECTED TO EXISTING. EXISTING PLUMBING SERVICES TO REMAIN UNALTERED

WALL LININGS:

- REMOVE ALL EXISTING WALL LININGS TO MALE AND FEMALE BATHROOMS. PREPARE TO INSTALL SERATONE OVER 10mm GIB AQUALINE REPAINT EXISTING CEILING TO A L4 FINISH



1 EXISTING - WEST ELEVATION
1:25



2 PROPOSED - WEST ELEVATION
1:25



No.	Revision	By	Chk	Appd	Date
0	ISSUE FOR BUILDING CONSENT	CS	SM	AJ	16.08.18



Original Scale (A1)	Design	CBS	21.05.18
As indicated	Drawn	CBS	21.05.18
Reduced Scale (A3)	Dwg Verifier	SM	14.08.18
Hall A1	Dwg Check	PDM	13.08.18

Client: WAIKATO DISTRICT COUNCIL

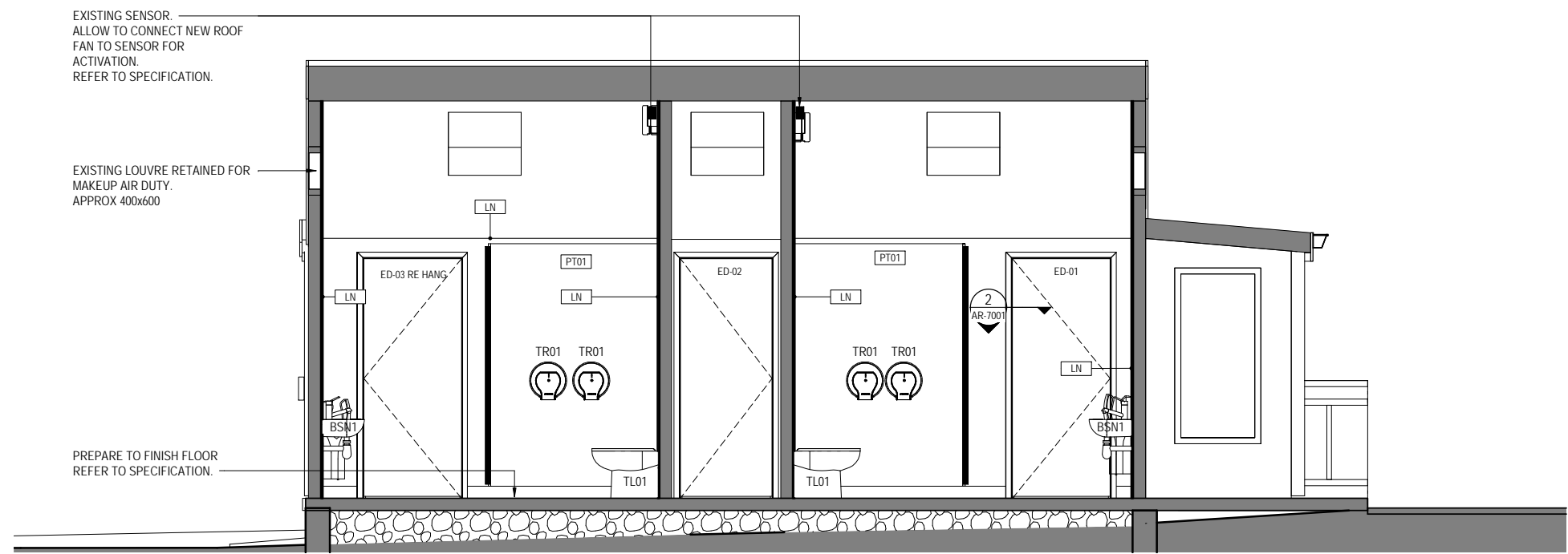
Project: POKENO PUBLIC TOILETS

Title: EXTERNAL ELEVATIONS 2

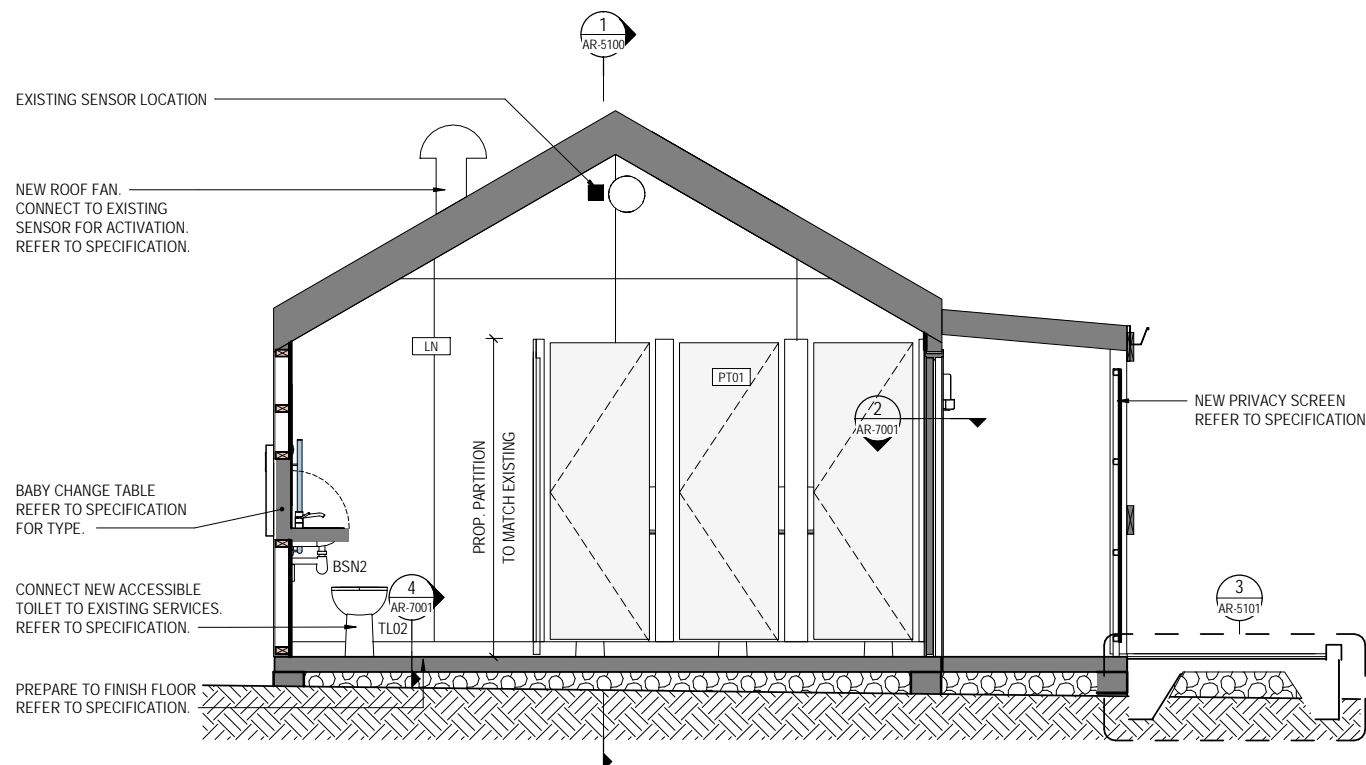
Discipline	ARCHITECTURE
Drawing No.	4272200-AR-4101
Rev.	0

SANITARY LEGEND	
PLEASE NOTE: ALL PLUMBING FIXTURES ARE TO BE UPGRADED AND RECONNECTED TO EXISTING. ALL EXISTING PIPE SERVICES ARE TO REMAIN AS IS.	
REFER TO SPECIFICATION FOR TYPE.	
BSN1	HAND BASIN COMPLETE WITH MIXER
BSN2	ACCESSIBLE HAND BASIN COMPLETE WITH MIXER
CT01	CHANGE TABLE
GR01	GRAB RAIL
PT01	NEW PROPRIETARY PARTITION SYSTEM REFER TO SPECIFICATION FOR FURTHER INFORMATION
TL01	WALL FACED TOILET PAN AND SEAT, CONCEALED IN WALL CISTERN WITH PUSH PLATE.
TL02	ACCESSIBLE WALL FACED TOILET PAN AND SEAT, SEAT TO HAVE NON SLID BRACKETS ATTACHED. CONCEALED IN WALL CISTERN WITH PUSH PLATE.
TR01	TOILET ROLL HOLDER TO BE SUPPLIED BY CLIENT
SP	SOAP DISPENSER SUPPLIED BY CLIENT

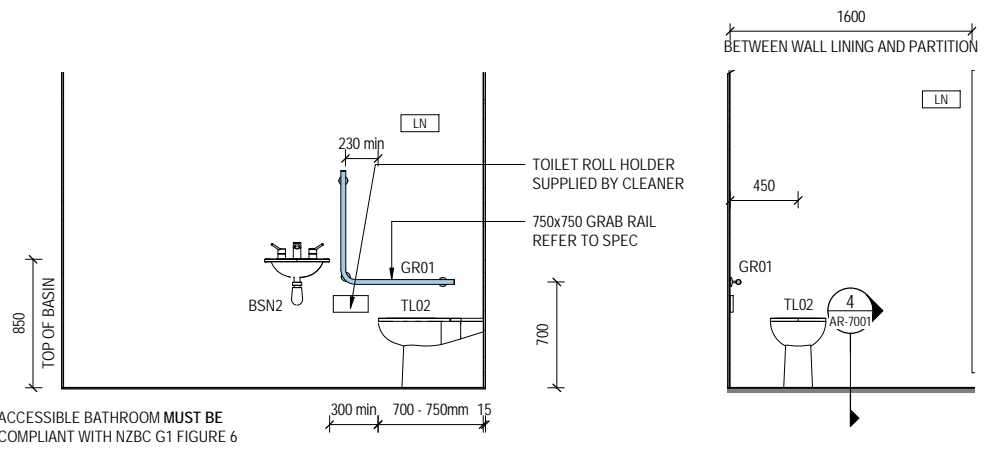
- | GENERAL NOTES | |
|--|--|
| <ul style="list-style-type: none"> IF THE CONTRACTOR FINDS ANY INCONSISTENCY, ERROR OR OMISSION IN THE DOCUMENTS, OR BETWEEN DOCUMENTS, THE ARCHITECT MUST BE NOTIFIED. THE CONTRACTOR IS TO READ ALL DRAWINGS TO COORDINATE FIXTURES, FITTINGS AND DIMENSIONS. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE BEFORE FABRICATION. ALL DIMENSIONS ARE TO FACE OF THE LININGS UNLESS NOTED OTHERWISE. MATERIAL PERFORMANCE TO COMPLY WITH ALL ASPECTS OF THE NAZBI BUILDING CODE, APPROVED DOCUMENTS AND NZS 3604:2011. APPLY PROPRIETARY MATERIALS AND COMPONENTS TO THE MANUFACTURER'S EXPRESS WRITTEN INSTRUCTIONS. DO NOT SCALE DRAWINGS ALL DIMENSIONS ARE IN MILLIMETRES | |
| TIMBER: | |
| <ul style="list-style-type: none"> UNLESS SPECIFICALLY INDICATED OTHERWISE ALL WALL FRAMING IS TO COMPLY WITH NZS 3604:2011. ALL TIMBER FRAMING TO BE RADIATA PINE NO. 1 FRAMING H1.2 TREATED AND KILN DRIED, UNO. 90X45 WALL FRAMING @ 600CTRS TO SUIT CLADDING & LININGS. BOTTOM PLATES TO BE H3.2 TREATED. FRAMING TIMBER MOISTURE CONTENT SHALL BE 15% MAXIMUM WHEN LINING AND FINISHING MEMBERS ARE FIXED. DRESSING AND FINISHING TIMBER 12% MAXIMUM WHEN FINISHED. | |
| ELECTRICAL: | |
| <ul style="list-style-type: none"> ALL NEW ELECTRICAL FITTINGS ARE TO BE RECONNECTED TO EXISTING. EXISTING ELECTRICAL SERVICES TO REMAIN UNALTERED ALLOW TO CONNECT NEW ROOF FANS TO EXISTING LIGHT SENSORS. | |
| PLUMBING: | |
| <ul style="list-style-type: none"> ALL NEW PLUMBING FITTINGS ARE TO BE RECONNECTED TO EXISTING. EXISTING PLUMBING SERVICES TO REMAIN UNALTERED | |
| WALL LININGS: | |
| <ul style="list-style-type: none"> REMOVE ALL EXISTING WALL LININGS TO MALE AND FEMALE BATHROOMS. PREPARE TO INSTALL SERATONE OVER 10mm GIB AQUALINE REPAINT EXISTING CEILING TO A L4 FINISH | |



1 BUILDING SECTION
1 : 25



2 GENERIC BATHROOM SECTION 1
1 : 25



ACCESSIBLE BATHROOM MUST BE COMPLIANT WITH NZBC G1 FIGURE 6

3 ACCESSIBLE BATHROOM
1 : 25

WALL TYPE LEGEND	
	EXISTING WALL STRUCTURE REMOVE ALL INTERNAL WALL LININGS, FINISHES AND FITTINGS
	NEW WALL LININGS RELINE ALL BATHROOMS WITH 10mm GIB AQUALINE + 4.5mm SERATONE EXISTING WALL STRUCTURE REMAINS UNALTERED. ALLOW FOR ADDITIONAL BLOCKING IF REQUIRED TO SUPPORT NEW FITTINGS. REFER TO SPECIFICATION.
	TOILET PARTITIONS PROPRIETARY TOILET PARTITION SYSTEM REFER TO SPECIFICATION
	AREAS REMAIN UNALTERED

FOR BUILDING CONSENT

No.	Revision	By	Chk	Appd	Date
0	ISSUE FOR BUILDING CONSENT	CS	SM	AJ	16.08.18



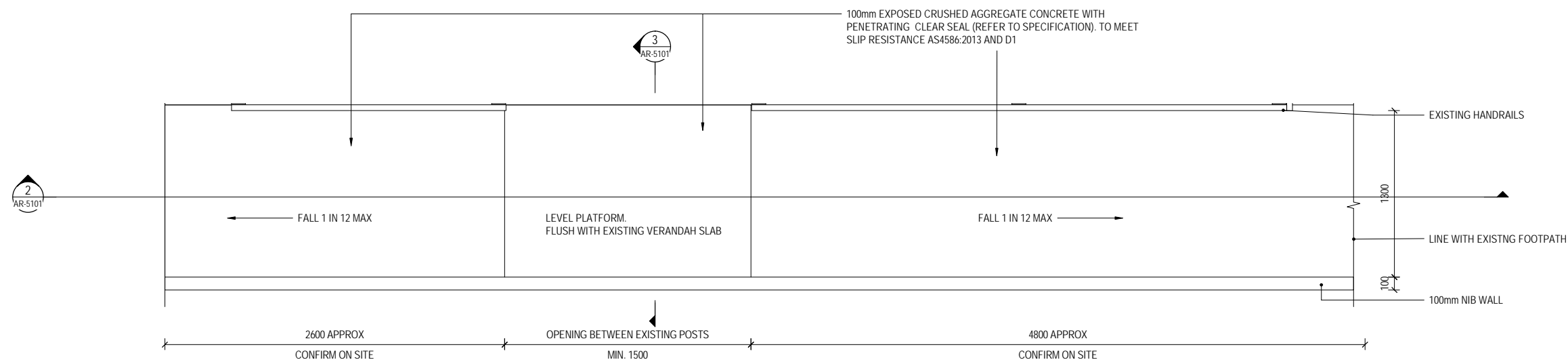
Original Scale (A1)	Design	Drawn	Design Verifier	Design Check	Date
As indicated	CBS	CBS	SM	PDM	21.05.18
Reduced Scale (A3)					21.05.18
Hall A1					14.08.18
					13.08.18

Client: WAIKATO DISTRICT COUNCIL

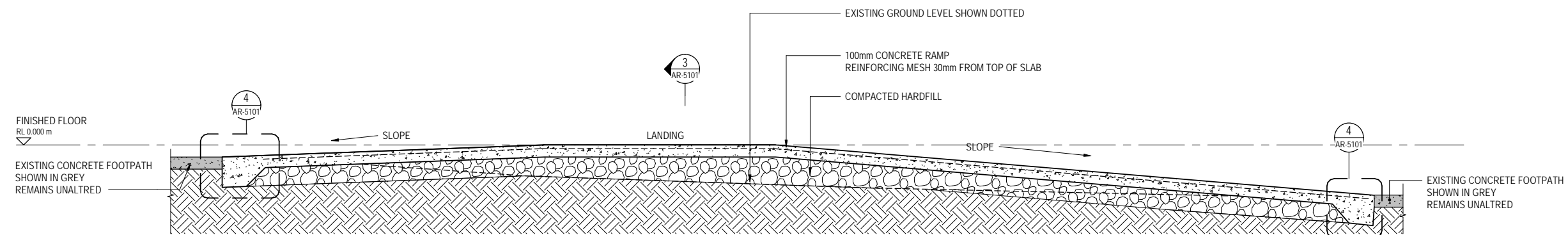
Project: POKENO PUBLIC TOILETS

Title: SECTIONS

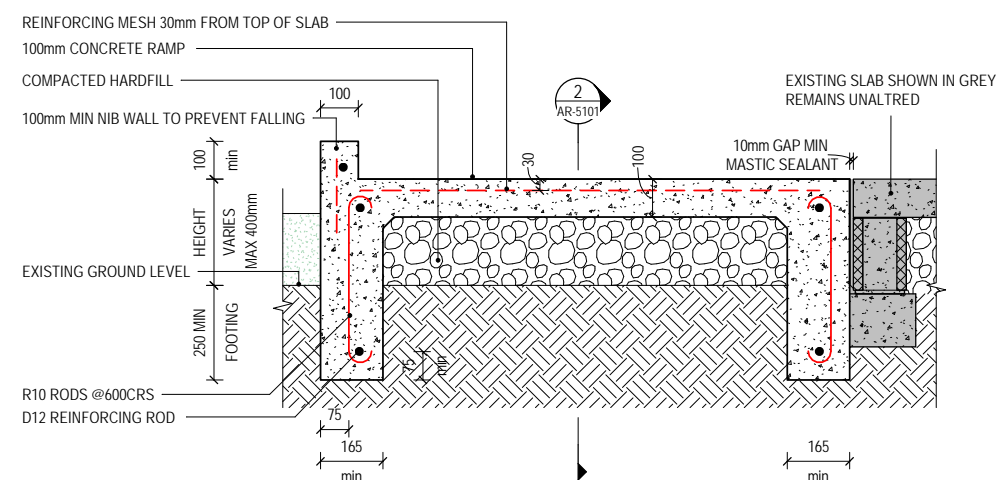
Discipline	Drawing No.	Rev.
ARCHITECTURE	4272200-AR-5100	0



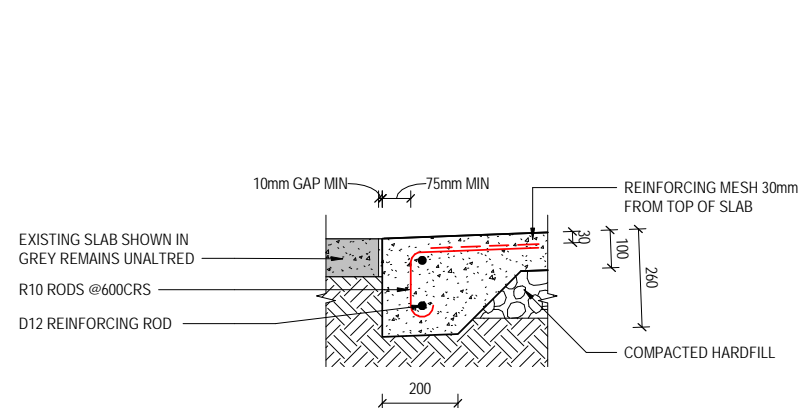
1 ACCESSIBLE RAMP
1:20



2 ACCESSIBLE RAMP SECTION
1:20



3 ACCESSIBLE LANDING SECTION
1:10



4 ACCESSIBLE RAMP FOOTING
1:10

ORIGINAL DRAWING
IN COLOUR

FOR BUILDING CONSENT

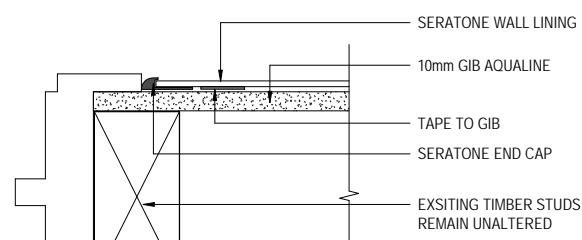
No.	Revision	By	Chk	Appd	Date
0	ISSUE FOR BUILDING CONSENT	CS	SM	AJ	16.08.18



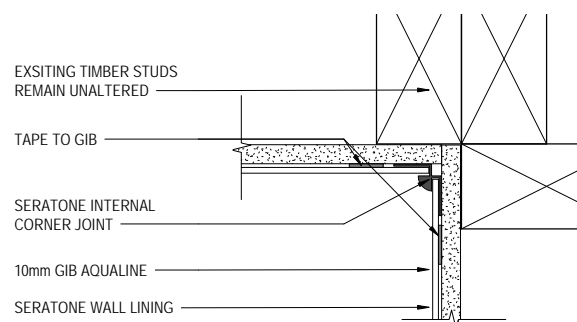
Original Scale (A1)	Design	CBS	21.05.18
As indicated	Drawn	CBS	21.05.18
Reduced Scale (A3)	Desig Verifier	SM	14.08.18
Hall A1	Desig Check	PDM	13.08.18

Client:	WAIKATO DISTRICT COUNCIL
Project:	POKENO PUBLIC TOILETS

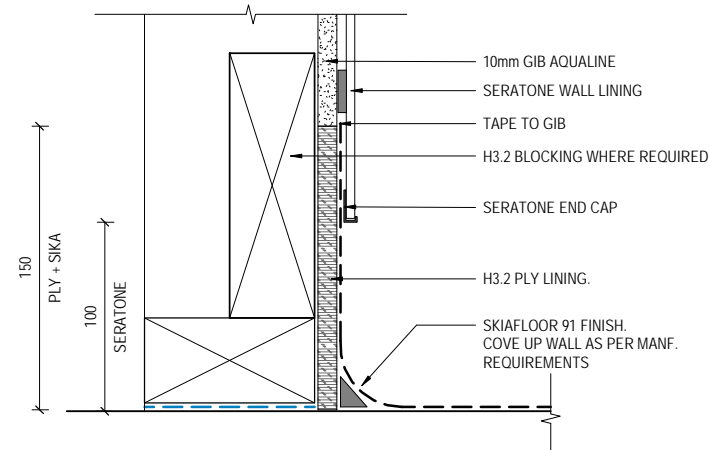
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Discipline:	ARCHITECTURE
Drawing No.	4272200-AR-5101
Rev.	0



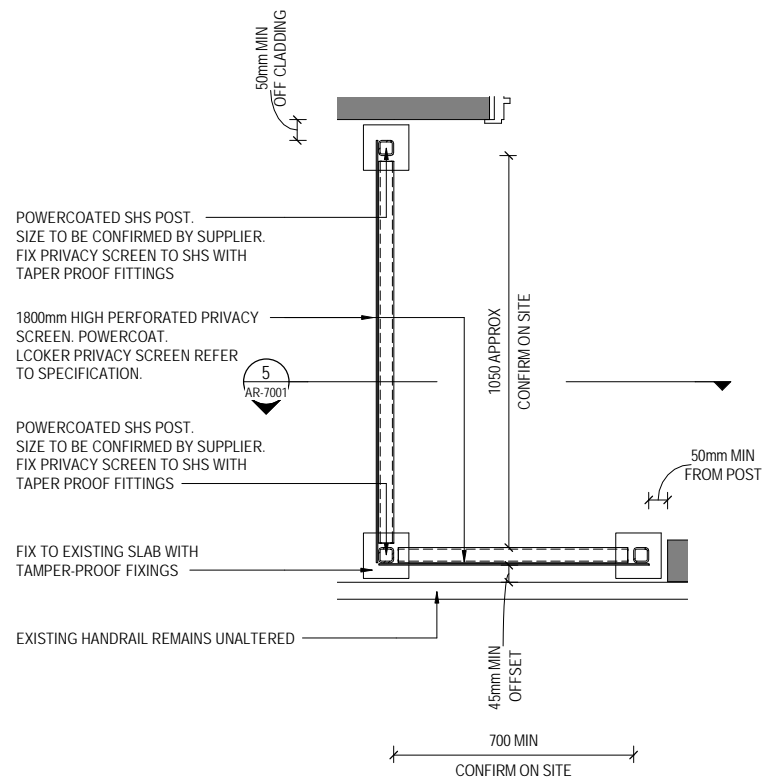
2 SERATONE TO DOOR JAMB
1:2



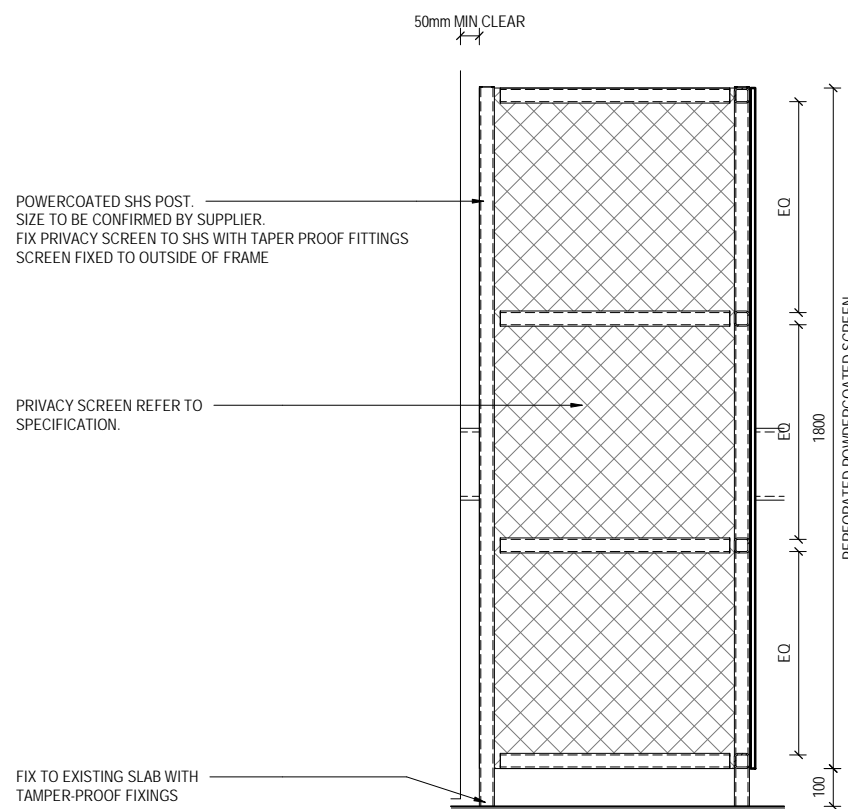
1 SERATONE INTERNAL CORNER
1:2



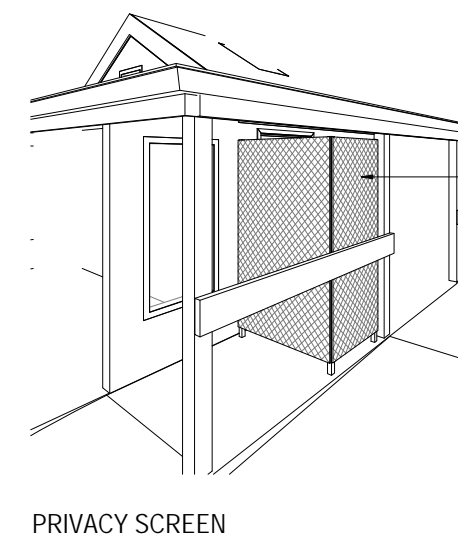
4 SERATONE TO FLOOR
1:2



3 PRIVACY SCREEN FENCE - PLAN
1:10



5 PRIVACY SCREEN FENCE - ELEVATION
1:10



PRIVACY SCREEN

ORIGINAL DRAWING
IN COLOUR

FOR BUILDING CONSENT

No.	Revision	By	Chk	Appd	Date
0	ISSUE FOR BUILDING CONSENT	CS	SM	AJ	16.08.18



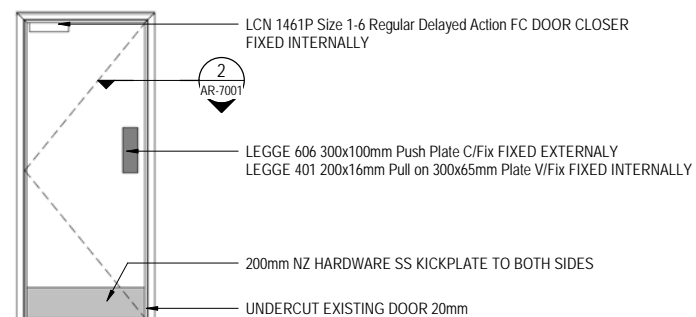
Original Scale (A1)	Design	CBS	21.05.18
As indicated	Drawn	CBS	21.05.18
Reduced Scale (A3)	Dwg Verifier	SM	14.08.18
Hall A1	Dwg Check	PDM	13.08.18

Client: WAIKATO DISTRICT COUNCIL

Project: POKENO PUBLIC TOILETS

Title: CONSTRUCTION DETAILS

Discipline	ARCHITECTURE
Drawing No.	4272200-AR-7001
Rev.	0



TYPE 1 DOOR

GENERAL DOOR NOTES

- A. CHECK ALL DOOR HEIGHTS ON SITE PRIOR TO MANUFACTURE - FULL HEIGHT DOOR FINAL SIZE TO BE DETERMINED BY PROPRIETARY PARTITION SYSTEM SECTION
- B. ALL DOOR DIMENSIONS ARE TO LEAF ONLY AND NOT ROUGH OPENING UNLESS NOTED OTHERWISE
- C. ALL >2400mm HEIGHT DOORS HAVE 5 HINGES
- D. ALL <2400mm HEIGHT DOORS HAVE 4 HINGES
- E. HINGES TO BE EVENLY SPACES HEAVY DUTY STAINLESS STEEL
- F. ALL DOORS TO BE UNDERCUT SUBJECT TO FLOOR FINISHES AND BOTTOM SEAL CONDITIONS
- G. ALL DOOR HANDLE HEIGHTS TO BE 1000mm AFL UNLESS OTHERWISE NOTED.

AR-DOOR SCHEDULE

DOOR LOCATION AND TYPE												
DOOR No	ROOM NAME	TYPE	LOCK	DOOR UNDERCUT	DOOR CLOSER	DOOR STOP	KICK PLATE	HANDLE	PUSH PLATE	HINGES	SIGNAGE	COMMENTS
ED-01	FEMALE BATHROOM	DT1	EXISTING	20mm	UPDATE IF REQUIRED LCN 1461P Size 1-6 Regular Delayed Action FC Door Closer	Legge 13001 75mm Concealed Fix Door Stop FIXED TO DOOR	200mm NZ HARDWARE SS KICKPLATE TO B.S.	UPDATE IF REQUIRED Legge 401 200x16mm Pull on 300x65mm Plate V/Fix	UPDATE IF REQUIRED Legge 606 300x100mm Push Plate C/Fix (suit 401)	EXISTING	EXISTING WALL MOUNTED SIGNAGE REMAINS UNALTERED	
ED-02	SERVICES	DT2	EXISTING	N/A	N/A		N/A	N/A	N/A	N/A	N/A	
ED-03 RE HANG	MALE BATHROOM	DT1	EXISTING	20mm	UPDATE IF REQUIRED LCN 1461P Size 1-6 Regular Delayed Action FC Door Closer	Legge 13001 75mm Concealed Fix Door Stop FIXED TO DOOR	200mm NZ HARDWARE SS KICKPLATE TO B.S.	UPDATE IF REQUIRED Legge 401 200x16mm Pull on 300x65mm Plate V/Fix	UPDATE IF REQUIRED Legge 606 300x100mm Push Plate C/Fix (suit 401)	NEW IF REQUIRED	EXISTING WALL MOUNTED SIGNAGE REMAINS UNALTERED	REHANG DOOR FOR NEW SWING DIRECTION.

FOR BUILDING CONSENT

No.	Revision	By	Chk	Appd	Date
0	ISSUE FOR BUILDING CONSENT	CS	SM	AJ	16.08.18



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Hall A1	Dwg Check	PDM	13.08.18

Client: WAIKATO DISTRICT COUNCIL

Project: POKENO PUBLIC TOILETS

Title: WINDOW & DOOR SCHEDULE

Discipline	ARCHITECTURE
Drawing No.	4272200-AR-9100
Rev.	0

Open Meeting

To	Pokeno Community Committee
From	Ian Cathcart General Manager Customer Delivery
Date	31 August 2018
Prepared by	Wanda Wright Committee
Chief Executive Approved	Y
Reference #	GOV0516
Report Title	Pokeno Community Committee Schedule

1. EXECUTIVE SUMMARY

The purpose of this report is to provide an updated Pokeno Community Committee Schedule to discuss and populate.

It is intended that the Committee will develop a schedule as a guide for Council support and community information and engagement.

2. RECOMMENDATION

THAT the report from the General Manager Customer Deliver be received.

3. ATTACHMENTS

Draft Pokeno Community Committee Schedule from May to be updated.

**POKENO COMMUNITY COMMITTEE
SCHEDULE 2018**

January 2018	February 2018	March 2018
<ul style="list-style-type: none"> ▪ NO MEETING 	<ul style="list-style-type: none"> ▪ Pokeno Community Plan (Sue O’Gorman) ▪ Animal Control Engagement (Megan May/Helen Williams) ▪ LTP Update (Sue O’Gorman) 	<ul style="list-style-type: none"> ▪ Lions Club ▪ LTP Update (Sue O’Gorman) ▪
April 2018	May 2018	June 2018
	<ul style="list-style-type: none"> ▪ Funding for Youth Facilities in Pokeno (George Hawera) ▪ Village Plan Update (Tony/Colin) ▪ Proposal for Christmas Parade (Alan Johnstone) 	
July 2018	August 2018	September 2018
October 2018	November 2018	December 2018
		<ul style="list-style-type: none"> ▪ Christmas Party
		<ul style="list-style-type: none"> ▪ Pokeno Pride day ▪ Friday Feast ▪ Community Parade Mar/Apr

Open Meeting

To	Pokeno Community Committee
From	Tony Whittaker Chief Operating Officer
Date	28 August 2018
Chief Executive Approved	Y
Reference #	GOV0516 / 2065606
Report Title	Market Square Options

1. EXECUTIVE SUMMARY

Following on from last months' discussion around possible amendments to the Market Square design, staff will provide a suggested concept plan for discussion at the September meeting.

2. RECOMMENDATION

THAT the report from the Chief Operating Officer be received.

3. ATTACHMENTS

NIL

Open Meeting

To	Pokeno Community Committee
From	Helen Clotworthy Pokeno Community Committee
Date	31 August 2018
Prepared by	Wanda Wright Committee Secretary
Chief Executive Approved	Y
Reference #	GOV0516
Report Title	Chairperson's Report

I. EXECUTIVE SUMMARY

Current issues to be discussed:

- Thanks for the recent street clean our pavers are sparkling
- Flooding and seal lifting under Southbound underpass (Northern End)
- Metal spread on Market Sq (Memorial Square)
- Design of 39 Great Sth Rd
- Double Yellow line required on sharp bend on Helenslee Rd between Gateshead and Hillpark Rd
- Reguar Power Cuts in Helenslee Block.

2. RECOMMENDATION

THAT the report from the Pokeno Community Committee Chair be received.

3. ATTACHMENTS

N/A